

FREMONT FOOD HALL

TENANT IMPROVEMENT

PROJECT DATA AND ZONING

PROJECT ADDRESS:

| | | |
|-----------------------|---|--------|
| SITE AREA | 33,708 | SF |
| TENANT AREA | 2,156 | SF |
| AREA OF WORK | 2,156 | SF |
| PERVIOUS USE | VACANT | |
| PROPOSED USE | FOOD HALL | |
| TYPE OF CONSTRUCTION | TYPE I-A | |
| OCCUPANCY GROUP | B, OCCUPANT LOAD LESS THAN 50 PERSON, SHALL BE CLASSIFIED AS B. | |
| OCCUPANCY LOAD | 49 | |
| USE ZONE | COMMERCIAL | |
| FIRE SPRINKLER SYSTEM | EXISTING (YES) | |
| PUBLIC PARKING | | |
| STANDARD | EXISTING | STALLS |
| HANDICAP | EXISTING | STALLS |
| PARKING TOTAL | EXISTING | STALLS |

PROJECT TEAM

SCOPE OF WORK

THIS PROJECT IS TO PROPOSE A FOOD HALL THAT SERVES MILK TEA, KOREAN FOOD AND JAPANESE FOOD. TO ADD THE EQUIPMENTS NEEDS WITH ASSOCIATE MECHANICAL, ELECTRICAL, AND PLUMBING WORK.

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APPLICABLE CODES

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA ENERGY CODE (CEC)
 2022 CALIFORNIA FIRE CODE (CFC)

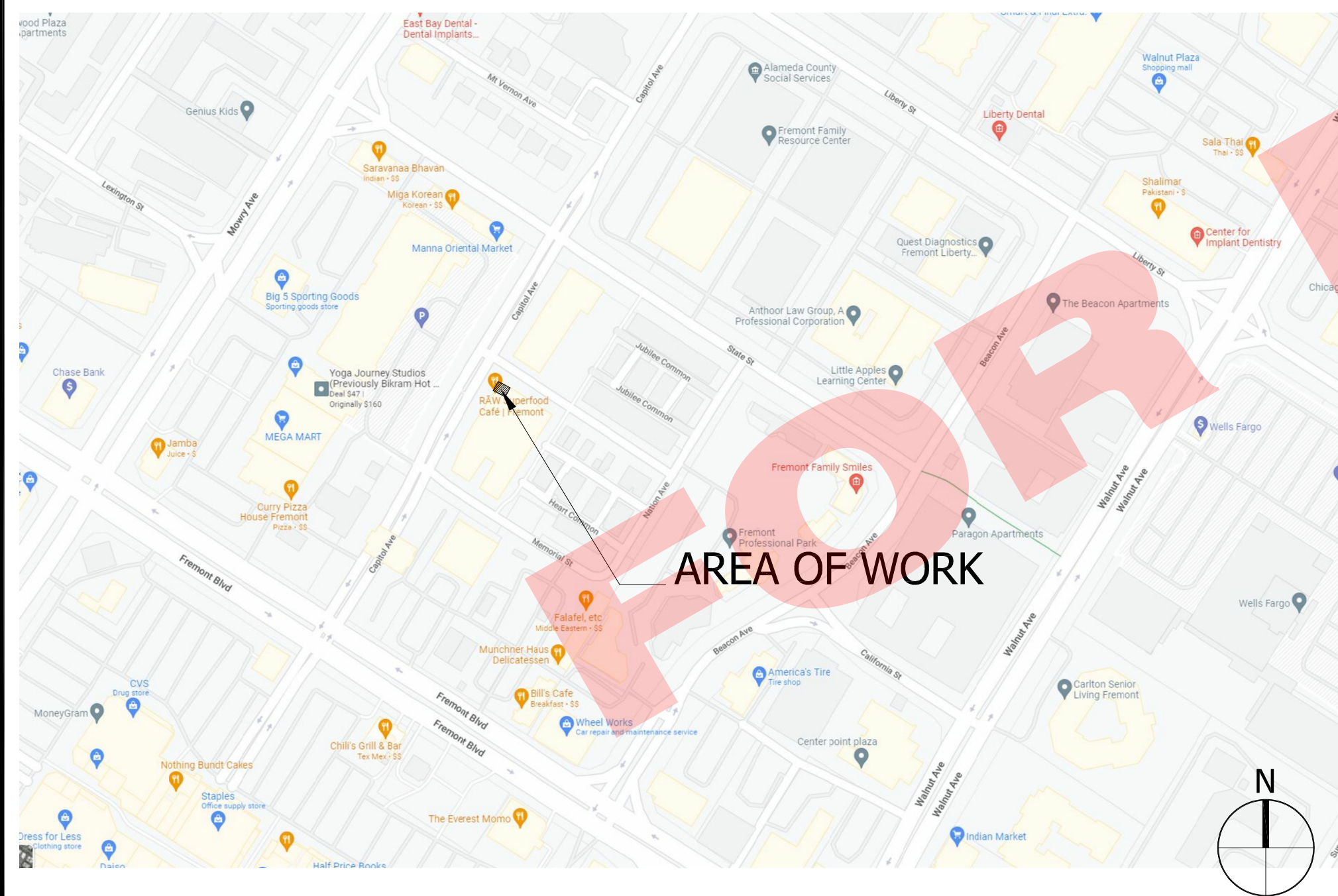
2022 FREMONT MUNICIPAL CODE

ALL WORK SHALL BE CONFORM TO ALL APPLICABLE CODES, ORDINANCE AND REGULATION AS PRESCRIBED BY THE CITY OF FREMONT
 FEDERAL AND STATE DISABILITIES GUIDELINES AND REGULATIONS AND OTHER REGULATIONS. CODES OR ORDINANCE AS AMENDED BY THE STATE OF CALIFORNIA THAT ARE APPLICABLE TO THIS PROJECT

APPROVAL STAMPS

LANDLORD'S COMMENTS

VICINITY MAP



DEFERRED SUBMITTALS

1. FIRE SPRINKLER MODIFICATION AND ANSUL SYSTEM.
2. SIGNAGE
3. ANY FIRE ALARM SYSTEM MODIFICATIONS WILL NEED TO BE SUBMITTED AS A SEPARATE PERMIT.

NOTE: DEFERRED SUBMITTALS ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTALS ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PROJECT:

FREMONT FOOD HALL TENANT IMPROVEMENT

REVISION

| # | DATE | DESCRIPTION |
|---|------|-------------|
| 0 | | |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

SHEET TITLE:

COVER SHEET

SHEET OF:

A-0.0

GENERAL NOTES

- BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE:
 - VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES.
 - COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED; AND
 - COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED; AND FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERROR ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.
- DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.
- COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.
- CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSION AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTOR'S OR SUBCONTRACTOR'S WORK IN ANY WAY DEPENDENT. NO "EXTRA" OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN. SUBMIT DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECTS AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECTS.
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- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNER CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE SPACE AND VERIFYING ALL CONDITIONS PRIOR TO BID. BIDS ARE TO BE ALL INCLUSIVE (I.E. ANY REQUIRED FIRE DAMPERS, FIRE ALARM, SPRINKLER, VENTS, FRESH AIR INTAKE, MECHANICAL, ELECTRICAL, PLUMBING ISSUES ETC. TO COMPLETE THE PROJECT, PASS INSPECTIONS, MEET OCCUPANCY CODES IN SATISFACTORY MANNER.
- IF ANY EXCEPTIONS OR ISSUES AREA FOUND DURING SURVEY, CONTRACTOR IS TO REVIEW THOSE CONDITIONS WITH OWNER FOR CLARIFICATION AND RESOLUTION PRIOR TO BID.
- BID TO INCLUDE THE DRAWINGS, PERMITS, ALL ELECTRICAL, PLUMBING, FIRE, SPRINKLER, HVAC WORK AND UPGRADES REQUIRED FOR OCCUPANCY/TURNOVER.
- UPGRADE FIRE ALARM CONNECTION AND ALARM IF REQUIRED PER CODE.
- NOT TO LL ARCHITECT: PRIOR PERMITTING, WESTFIELD REQUIRES A FINAL REVIEW OF THE FINAL DOCUMENTS. EXPECT REFINEMENTS AND CLARIFICATIONS AT THAT TIME FROM WESTFIELD TO BE INCLUDED IN THE PERMIT SET. NO ADDITIONAL CHARGES OF COST INCREASE SHALL BE PERMITTED FOR REFINEMENT AND CLARIFICATIONS.
- NOTE: FACILITIES MANAGERS IS TO REVIEW THIS SCOPE OF WORK FOR ITEMS THAT MAY BE NEEDED TO ADDRESS OPERATIONAL ISSUES. ANY SUCH ITEMS THAT AREA REQUIRED TO DELIVER A COMPLETE CODE COMPLIANT SPACE, OR REQUIRED TO MEET MAL OPERATIONAL NEEDS THAT AREA NOT SPECIFICALLY INCLUDED, SHOULD BE ADDRESSED WITH THE BIDDING CONTRACTOR WHEN FM REQUESTS THE BID. FM SHOULD ALSO MAKE TC AWARE OF ITEMS THAT AREA REQUIRED TO BE ADDED TO THE OVERALL SCOPE.
- NOTE TO OWNER GC. THE STATE GOAL AND INTENT IS TO DELIVER SPACE, TO LL SPECS AND EXPECTATIONS, WITH ALL ITEMS THOROUGHLY EXECUTED IN A MANNER REQUIRED TO CLOSE OUT PERMIT. GC IS TO SURVEY, RESEARCH, AND OTHERWISE ELIMINATE OR MITIGATE THE POSSIBILITY OF UNFORESEEN CONDITIONS. BIDS MUST REFLECT STATE GOAL

POWER / COMM. NOTES

- CONTRACTOR SHALL THOROUGHLY EXAMINE EXISTING FACILITY AND CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED, INCLUDING EXISTING ELECTRICAL SERVICE, GENERAL CONDITIONS, AND LOCATIONS OF WORK TO BE EXECUTED AS SHOWN ON THE DRAWINGS, REPORT ANY CONFLICT TO ARCHITECT.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL THE ELECTRICAL AS SHOWN AND AS REQUIRED FOR A COMPLETE WORKING SYSTEM.
- ALL ELECTRICAL, MECHANICAL, FIRE PROTECTION, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, NATIONAL FIRE PROTECTION ASSOCIATION (N.F.P.A), NATIONAL ELECTRICAL CODE (N.E.C.), THE STATE OF CALIFORNIA A.D.A., THE CITY OF SAN FRANCISCO BUILDING CODE, AND ANY APPLICABLE LAWS, CODES AND ORDINANCES. NOTHING IN THESE DRAWING IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- ALL EQUIPMENT IS TO BE UNDERWRITER LABORATORIES (U.L) LABELED.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL ELECTRICAL POWER REQUIREMENTS AND WORK TO BE PERFORMED WITH TENANT REPRESENTATIVE AND BUILDING MANAGEMENT.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST FAULTY WORKMANSHIP OR DEFECTIVE MATERIAL.
- RE-ESTABLISH COMPLETE SERVICE TO ALL EXISTING FACILITIES WHERE DISRUPTED BY THE CONTRACTOR.
- ALL ELECTRICAL AND TELEPHONE OUTLETS, BOXES, RECEPTACLES, AND MOUNTING PLATES SHALL MATCH BUILDING STANDARD. INSTALL SINGLE GANGED SWITCH PLATES WHERE MORE THAN 1 SWITCH IS REQUIRED AT ANY AREA.
- ALL WALL ELECTRICAL RECEPTACLES SHALL BE MOUNTED 18" A.F.F. TO CENTERLINE OF RECEPTACLE COVER PLATE, MOUNTED VERTICALLY, U.O.N.
- LIGHT SWITCHES AND THERMOSTATS SHALL BE LOCATED ADJACENT TO OPEN DOORS OR CLOSE TO CORNERS TO ALLOW MAXIMUM WALL AREA FOR AIRWORK. LIGHT SWITCHES TO BE MOUNTED HEIGHT TO MATCH EXISTING AND TO CONFORM TO ALL CODES. LOCATIONS ARE TO BE FIELD APPROVED BY ARCHITECT, TENANT AND BUILDING MANAGEMENT BEFORE INSTALLATION.
- FLOOR RECEPTACLES AT CORNER SHALL BE INSTALLED 6" FROM CENTERLINE OF RECEPTACLE TO PARALLEL WALL. OBTAIN APPROVAL FROM BUILDING MANAGEMENT BEFORE CORE DRILLING.
- ALL SWITCH LOCATIONS, THERMOSTATS, AND ANY OTHER WALL MOUNTED CONTROL DEVICES ARE TO BE APPROVED BY ARCHITECT AND BUILDING MANAGEMENT BEFORE INSTALLATION.
- ALL TELEPHONE AND ELECTRICAL LOCATIONS AREA TO BE FIELD APPROVED BY ARCHITECT BEFORE INSTALLATION.
- ARCHITECT MAY MODIFY OUTLET LOCATIONS VERTICALLY OR HORIZONTALLY BY UP TO 6" PRIOR TO INSTALLATION.
- POWER FOR ALL EQUIPMENT MUST CONFORM TO REQUIREMENTS INDICATED ON PRODUCT MANUFACTURING INFORMATION SHEETS.
- REFER TO REFLECTED CEILING NOTES FOR ADDITIONAL INFORMATION.
- ADVISE BUILDING MANAGEMENT OF POSSIBLE DISRUPTIVE NOISE.

SOLID WASTE NOTES:

- SEPARATE INDOOR RECEPTACLES IN THE FRONT OF HOUSE FOR CUSTOMER USE MUST BE PROVIDED FOR GARBAGE, RECYCLING AND ORGANICS, UNLESS THE RESTAURANT IS A FULL-SERVICE RESTAURANT.
- WEEKLY GARBAGE, RECYCLING AND ORGANICS COLLECTION SERVICES ARE REQUIRED FOR COMMERCIAL FOOD SERVICE PROPERTIES AND ARE PROVIDED BY REPUBLIC SERVICES ON AN EXCLUSIVE FRANCHISE BASIS.
- EXPANDED POLYSTYRENE (EPS) FOOD SERVICE WARE, COMMONLY KNOWN AS STYROFOAM™, IS PROHIBITED IN THE CITY OF FREMONT. BUSINESSES MUST USE ONLY COMPOSTABLE OR RECYCLABLE PRODUCTS, SUCH AS ALUMINUM FOIL, TRAYS, AND PAPER PRODUCTS FOR TAKEOUT WARE. ANY ESTABLISHMENT WHICH PROVIDES PREPARED FOOD OR BEVERAGES ARE SUBJECT TO THE ORDINANCE. [HTTPS://CITY.FREMONT.GOV/EPS](https://city.fremont.gov/eps)
- EATING ESTABLISHMENTS ARE SUBJECT TO COUNTY RULES REGARDING THE BAN OF SINGLE-USE PLASTIC BAGS. THE ALAMEDA COUNTY WASTE MANAGEMENT AUTHORITY'S (ACWMA) REUSABLE BAG ORDINANCE (ACWMA ORD. NO. 2016-02) HAS SPECIFIC BAG REQUIREMENTS FOR EATING ESTABLISHMENTS. REVIEW THE REQUIREMENTS AT WWW.REUSABLEBAGSAC.ORG.

CA GREEN CODE:

- DURING CONSTRUCTION AND DEMOLITION, THERE ARE ONLY TWO OPTIONS TO REMOVE CONSTRUCTION/DEMO DEBRIS FROM FREMONT. IF A DUMPSTER/DEBRIS BOX IS REQUIRED, THE CITY'S ONLY APPROVED DEBRIS BOX/DUMPSTER HAULER IS REPUBLIC SERVICES. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL GENERATED WITHIN FREMONT. CONTACT REPUBLIC SERVICES IN FREMONT AT 510.657.3500. THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE OR ASPHALT.
- ALTERNATELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY SELF-HAUL DEBRIS. "SELF-HAUL" MEANS TO REMOVE MATERIALS FROM THE JOBSITE PREMISES, USING THE CONTRACTOR'S OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF A TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTORS WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED FACILITY AND SUBMIT THE RECEIPTS TO THE CITY OF FREMONT MONTHLY. HIRING A 3RD PARTY HAULER IS NOT PERMITTED.
- ALL ORGANIC WASTE MUST BE SEPARATED FROM REGULAR TRASH AND RECYCLED, COMPOSTED, CHIPPED FOR MULCH OR DELIVERED TO AN APPROVED PROCESSING FACILITY. "ORGANIC WASTE" MEANS FOOD, GREEN MATERIAL, LANDSCAPE AND PRUNING WASTE, CARPETS, LUMBER, WOOD AND PAPER PRODUCTS.
- DIVERSION REQUIREMENT: DURING DEMOLITION AND CONSTRUCTION:
 - 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED, AND
 - 65% OF THE REMAINING DEBRIS GENERATED FROM THE PROJECT MUST BE REUSED OR RECYCLED.

IN ORDER TO RECEIVE FINAL PERMIT APPROVAL, APPLICANT/CONTRACTOR MUST SAVE ALL RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.

e) THE APPLICANT/CONTRACTOR MUST SUBMIT A FREMONT WASTE HANDLING PLAN ONLINE AT WWW.FREMONT.WASTETRACKING.COM PRIOR TO PERMIT ISSUE. THE WASTE HANDLING PLAN MUST:

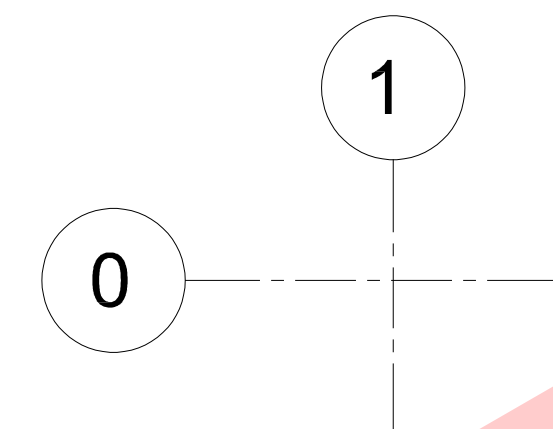
- PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
- LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
- INDICATE THAT 65% OF THE MATERIAL WILL BE REUSED OR RECYCLED
- BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB.

f) ALL DISPOSAL AND RECYCLING RECEIPTS MUST OFFICIALLY LIST FREMONT AS THE CITY OF ORIGIN TO BE COUNTED TOWARD THE DIVERSION REQUIREMENT.

g) PRIOR TO SCHEDULING THE FINAL INSPECTION, THE APPLICANT/CONTRACTOR MUST SUBMIT DOCUMENTATION SHOWING WHETHER THE CONSTRUCTION/DEMOLITION DEBRIS WAS REUSED, RECYCLED, OR DISPOSED/LANDFILLED. IF A REPUBLIC SERVICES DEBRIS BOX/DUMPSTER WAS USED, CONTACT REPUBLIC SERVICES VIA EMAIL AT DISPRPT@REPUBLICSERVICES.COM TO REQUEST A COPY OF THE DISPOSAL REPORT. ALLOW THREE (3) BUSINESS DAYS FOR REVIEW OF THE REPORT. PROVIDE ALL DISPOSAL RECEIPTS AND WEIGHT TAGS FROM THE PROJECT AND UPLOAD THE INFORMATION TO WWW.FREMONT.WASTETRACKING.CO

ANNOTATION SYMBOLS

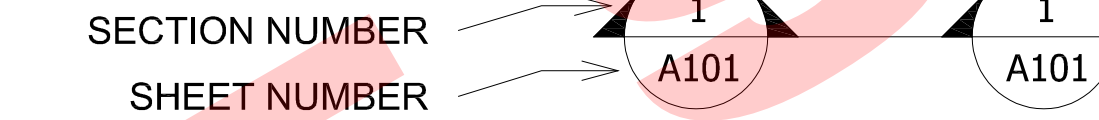
GRID LINES



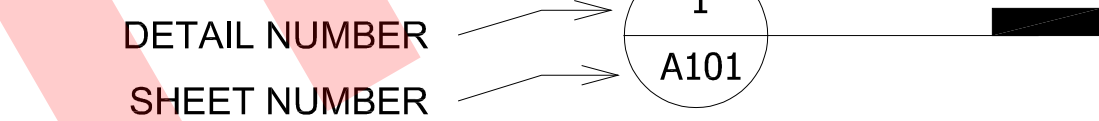
FLOOR ELEVATION



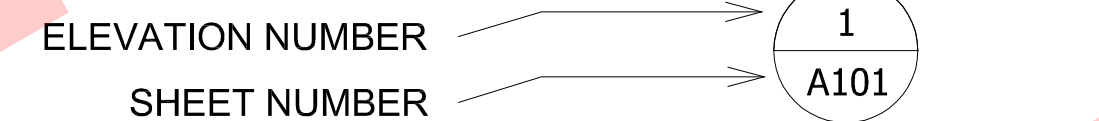
BUILDING SECTION



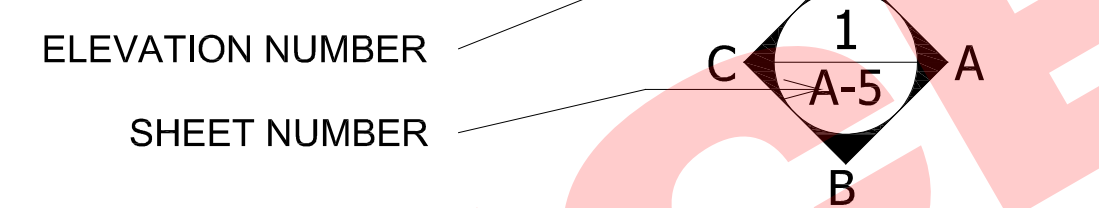
DETAIL SECTION



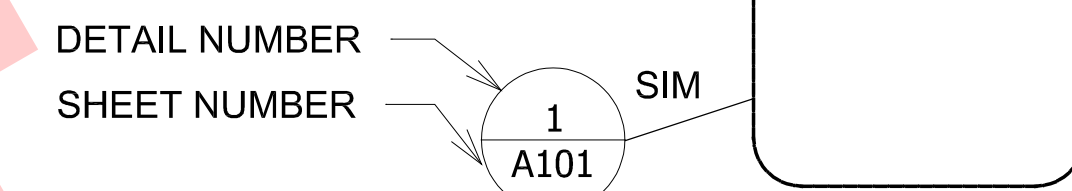
EXTERIOR ELEVATION



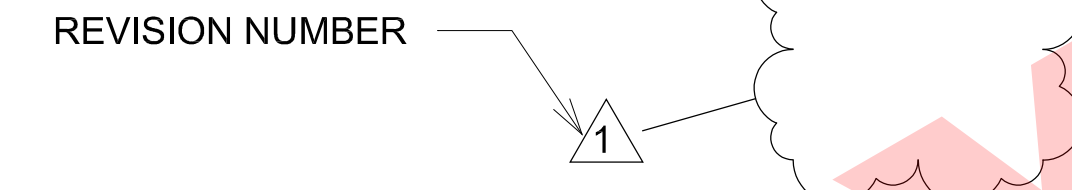
INTERIOR ELEVATION



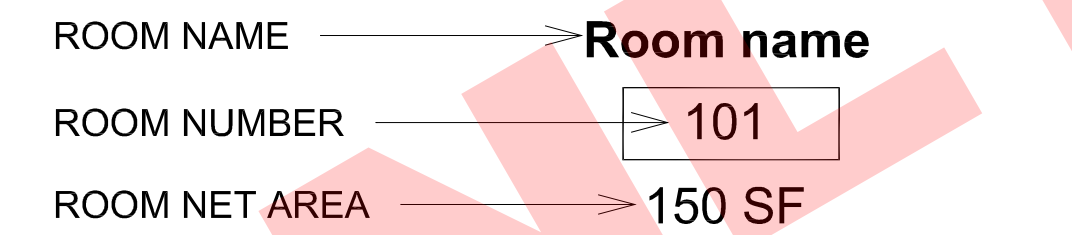
DETAIL REFERENCE TAG



REVISION TAG



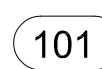
ROOM TAG



WINDOW TAG



DOOR TAG



CEILING TAG



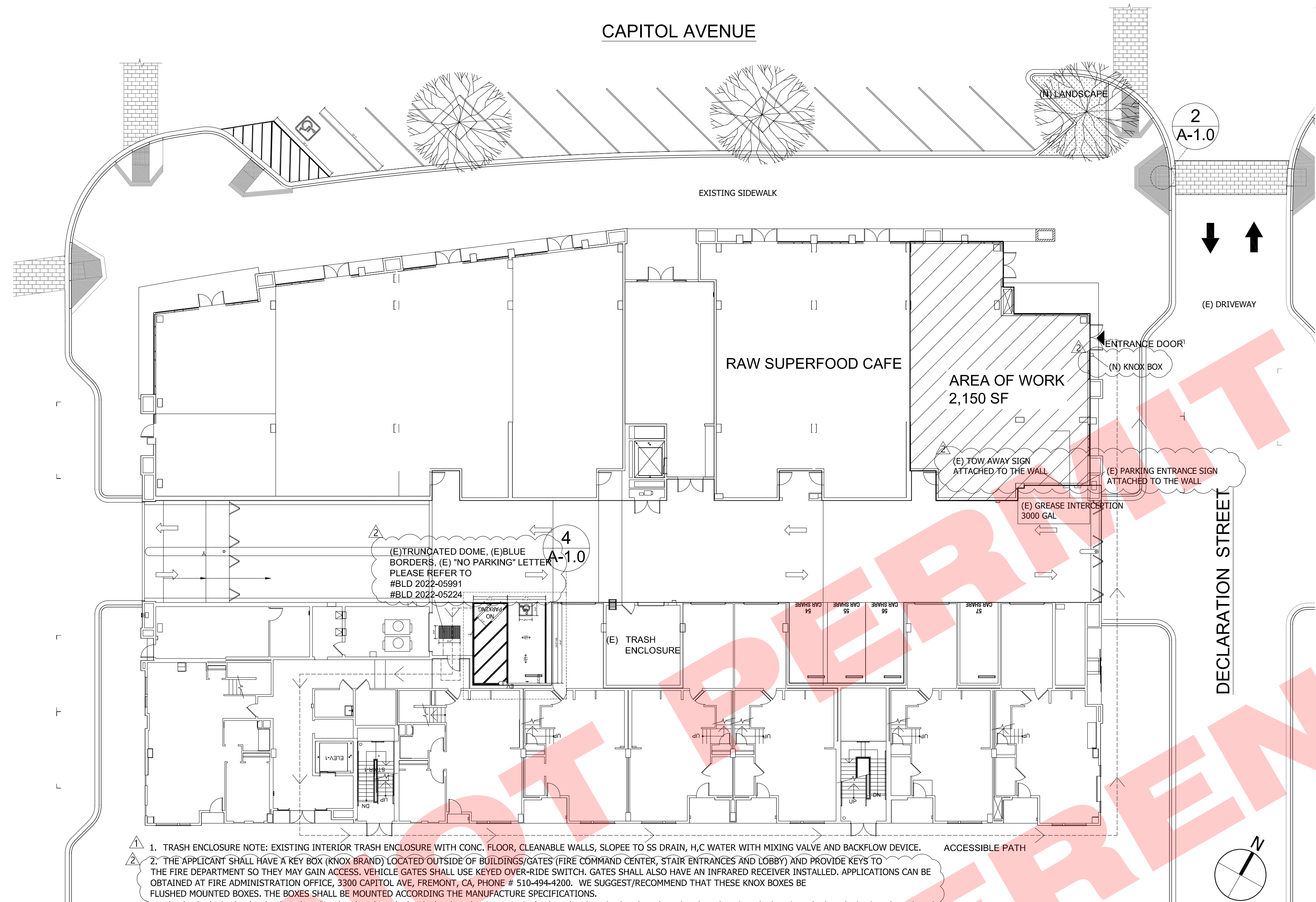
ABBREVIATION

| | | | | | | | |
|---------|--------------------|---------|-------------------------|-----------|-------------------------|--------|----------------------------|
| & | And | E.J. | Expansion Joint | LAB. | Laboratory | R.W.D. | Redwood |
| @ | Angle | EL. | Elevation | LAM. | Laminate | R.W.L. | Rain Water Leader |
| ∅ | Centerline | ELEC. | Electrical | LAV. | Laundry | | |
| ∅ | Diameter or Round | ELEV. | Elevator | LKR. | Locker | | |
| # | Pound or Number | EMER. | Emergency | LT. | Light | S. | South |
| (E) | Existing | ENCL. | Enclosure | | | S.A.D. | See Architectural Drawing |
| (R) | Relocated | ENGR. | Engineer | MAS. | Masonry | S.C.D. | Solid Core |
| (N) | New | EQ. | Equal | MAT. | Material | S.C.D. | Seat Cover Dispenser |
| A.B. | Anchor Bolt | E.QPT. | Equipment | MAX. | Maximum | S.D. | Soap Dispenser |
| ACOUS. | Acoustical | E.W.C. | Electrical Water Cooler | M.B. | Machine Bolt | SECT. | Section |
| A.D. | Area Drain | EXP. | Exposed | M.C. | Medicine Cabinet | S.E.D. | See Electrical Drawing |
| ADJ. | Adjustable | EXT. | Expansion | MECH. | Mechanical | S.H. | Single Hung |
| AGGR. | Aggregate | FL. | Exterior | MEMB. | Membrane | SHR. | Shower |
| AL. | Aluminum | F.A. | Fire Alarm | MFR. | Manufacturer | SHT. | Sheet |
| ALT. | Alternate | F.B. | Flat Bar | MH. | Manhole | SL. | Sliding |
| A.P. | Access Panel | F.D. | Floor Drain | MIN. | Minimum | S.M.D. | See Mechanical Drawing |
| APPROX. | Approximate | FDN. | Foundation | MIR. | Mirror | S.M.S. | Sheet Metal Screw |
| ARCH. | Architectural | F.E. | Fire Extinguisher | MISC. | Miscellaneous | S.N.D. | Sanitary Napkin Dispenser |
| ASB. | Asbestos | F.E.C. | Fire Extinguisher Cab. | M.O. | Masonry Opening | S.N.R. | Sanitary Napkin Receptacle |
| ASPH. | Asphalt | F.H.C. | Fire Hose Cabinet | M.T.D. | Mounted | SPEC. | Specification |
| A.F.F. | Above Finish Floor | F.H.W.S | Flat Head Wood Screw | MUL. | Mullion | S.P.D. | See Plumbing Drawing |
| B.B. | Bulletin Board | FIN. | Finish | | | SQ. | Square |
| BD. | Board | FIXT. | Fixture | N. | North | S.S.D. | See Structural Drawing |
| BITUM. | Bituminous | FL. | Floor | N.I.C. | Not In Contrast | S.S.T. | Stainless Steel |
| BLK. | Block | FLASH. | Flashing | N.O. or # | Number | STD. | Standard |
| BLKG. | Blocking | FLUOR. | Fluorescent | NOM. | Nominal | STL. | Steel |
| BOT. | Bottom | F.O.C. | Face of Concrete | N.T.S. | Not To Scale | STOR. | Storage |
| CAB. | Cabinet | F.O.F. | Face of Finish | O.A. | Overall | STRUC. | Structural |
| C.B. | Catch Basin | F.O.S. | Face of Studs | OBS. | Obscure | SUSP. | Suspended |
| CEM. | Cement | FRF. | Fireproof | O.C. | On Center | SYM. | Symmetrical |
| CER. | Cast Iron | F.S. | Full Size | O.D. | Outside Diameter (DIM.) | TRD. | Tread |
| C.I. | Cast Iron | FT. | Foot or Feet | OFF. | Office | T.B. | Towel Bar |
| C.G. | Corner Guard | FTG. | Footing | O.H. | Opposite Hand | T.C. | Top of Curb |
| C.L.G. | Construction Joint | FURR. | Furring | OPNG. | Opening | TEL. | Telephone |
| CLG. | Calling | FUT. | FUTURE | OPP. | Opposite | TER. | Terrazzo |
| CLKG. | Clacking | G.A. | Gauge | | | TEMP. | Tempered |
| CLO. | Closet | GALV. | Galvanized | | | T.&G. | Tongue and Groove |
| CLR. | Cased Opening | G.B. | Grab Bar | P. | Paint | THK. | Thick |
| COL. | Column | GL. | Glass | P.A.D. | Powder Actuated Device | THRES. | Threshold |
| CONC. | Concrete | GND. | Ground | PRCST. | Pre-cast | TRD. | Top of Pavement |
| CONN. | Connection | GR. | Gypsum | PL. | Plate | T.P.B. | Telephone Panelboard |
| CONSTR. | Construction | GYP. | Gypsum | P.LAM. | Plastic Laminate | T.P.D. | Toilet Paper Dispenser |
| CONT. | Continuous | H.B. | Hose Bibb | PLAS. | Plaster | T.V. | Television |
| CORR. | Corridor | H.C. | Hollow Core | PLYWD. | Plywood | T.W. | Top of Wall |
| CPT. | Carpet | HDWD. | Hardwood | PT. | Point | TYP. | Typical |
| CTSK. | Countersink | HDWE. | Hardware | P.T.D./R | Paper Towel Dispenser | UNF. | Unfinished |
| CNTR. | Center | H.M. | Hollow Metal | PTN. | Partition | U.O.N. | Unless Otherwise Noted |
| | | HORIZ. | Horizontal | P.T.R. | Paper Towel Reptacle | UR. | Urinal |
| | | HR. | Hour | | | V.C.T. | Vinyl Composition Tile |
| | | HGT. | Height | | | VERT. | Vertical |
| DET. | Detail | I.D. | Inside Diameter (Dim.) | | | VEST | Vestibule |
| DIA. | Diameter | INC. | Incandescent | | | V.I.F. | Verify in field |
| DIM. | Dimension | INFO. | Information | R. | Riser | W. | West |
| DISP. | Dispenser | INSUL. | Insulation | R.A.D. | Radius | W/ | With |
| D.O. | Door Opening | INT. | Interior | R.D. | Roof Drain | WC. | Wall Covering |
| DR. | Drawer | INTER. | Intermediate | REF. | Reference | WC. | Water Closet |
| DWR. | Downspout | JAN. | Janitor | REFR. | Refrigerator | WD | Wood |
| DS. | Dry Standpipe | JT. | Joint | RGTR. | Register | W.F. | Wide Flange |
| D.S.P. | Drawing | Kit | Kitchen | REINF. | Reinforced | W.O. | Where Occurs |
| DWG. | | | | REQ. | Required | W/O | Without |
| | | | | RESIL. | Resilient | WP. | Waterproof |
| | | | | R.O. | Rough Opening | W.SCT. | Wainscot |
| | | | | RUB. | Rubber | WT. | Weight |
| | | | | | | W.R. | Water Resistant |

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SHEET TITLE:
GENERAL NOTES, SYMBOLS AND ABBREVIATION

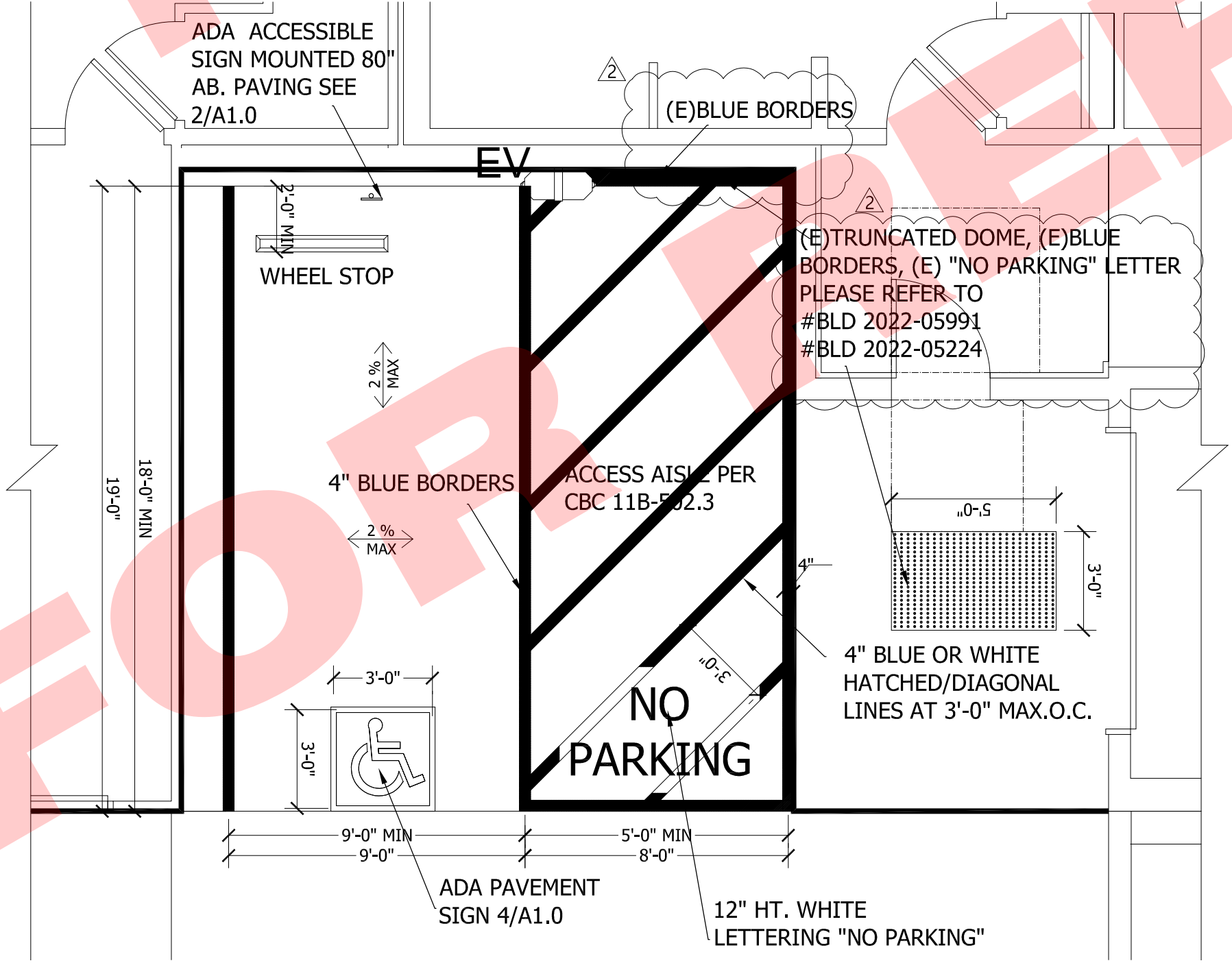
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1. TRASH ENCLOSURE NOTE: EXISTING INTERIOR TRASH ENCLOSURE WITH CONC. FLOOR, CLEANABLE WALLS, SLOPE TO SS DRAIN, H/C WATER WITH MIXING VALVE AND BACKFLOW DEVICE.
2. THE APPLICANT SHALL HAVE A KEY BOX (KNOX BRAND) LOCATED OUTSIDE OF BUILDINGS/GATES (FIRE COMMAND CENTER, STAIR ENTRANCES AND LOBBY) AND PROVIDE KEYS TO THE FIRE DEPARTMENT SO THEY MAY GAIN ACCESS. VEHICLE GATES SHALL USE KEYED OVER-RIDE SWITCH. GATES SHALL ALSO HAVE AN INFRARED RECEIVER INSTALLED. APPLICATIONS CAN BE OBTAINED AT FIRE ADMINISTRATION OFFICE, 3300 CAPITOL AVE, FREMONT, CA, PHONE # 510-494-4200. WE SUGGEST/RECOMMEND THAT THESE KNOX BOXES BE FLUSH MOUNTED BOXES. THE BOXES SHALL BE MOUNTED ACCORDING TO THE MANUFACTURE SPECIFICATIONS.

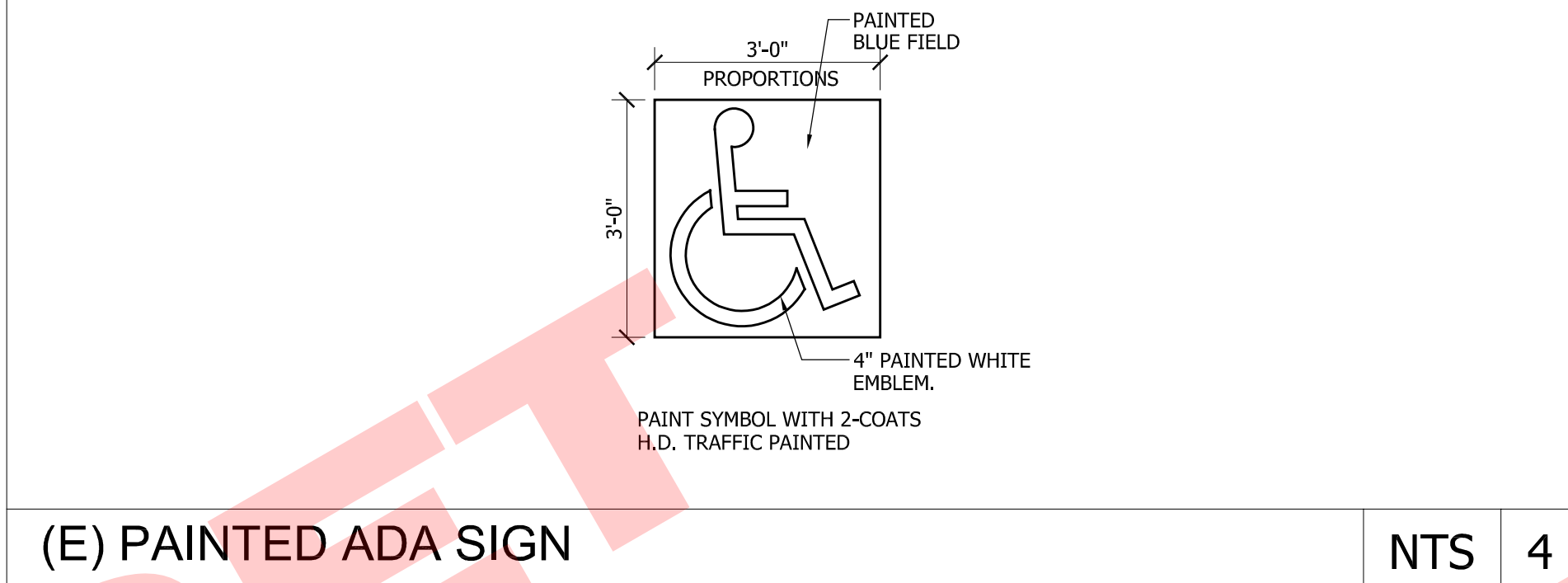
EXISTING SITE PLAN

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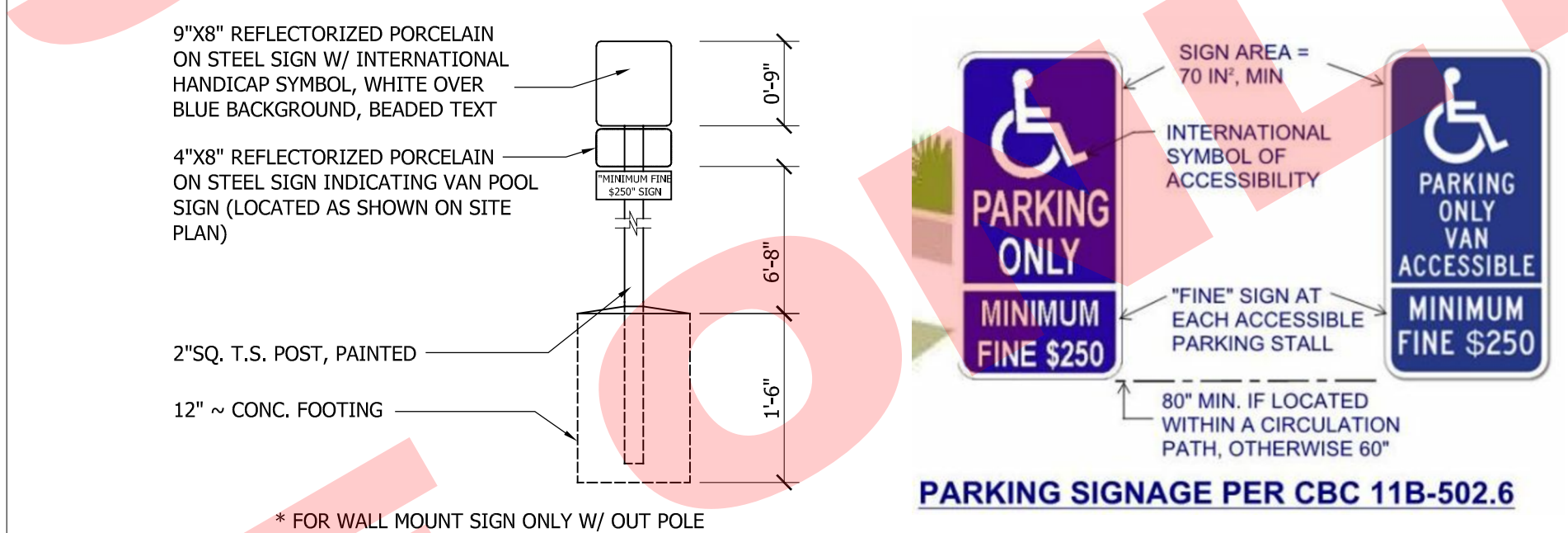


EXISTING ENLARGED PARKING DETAIL

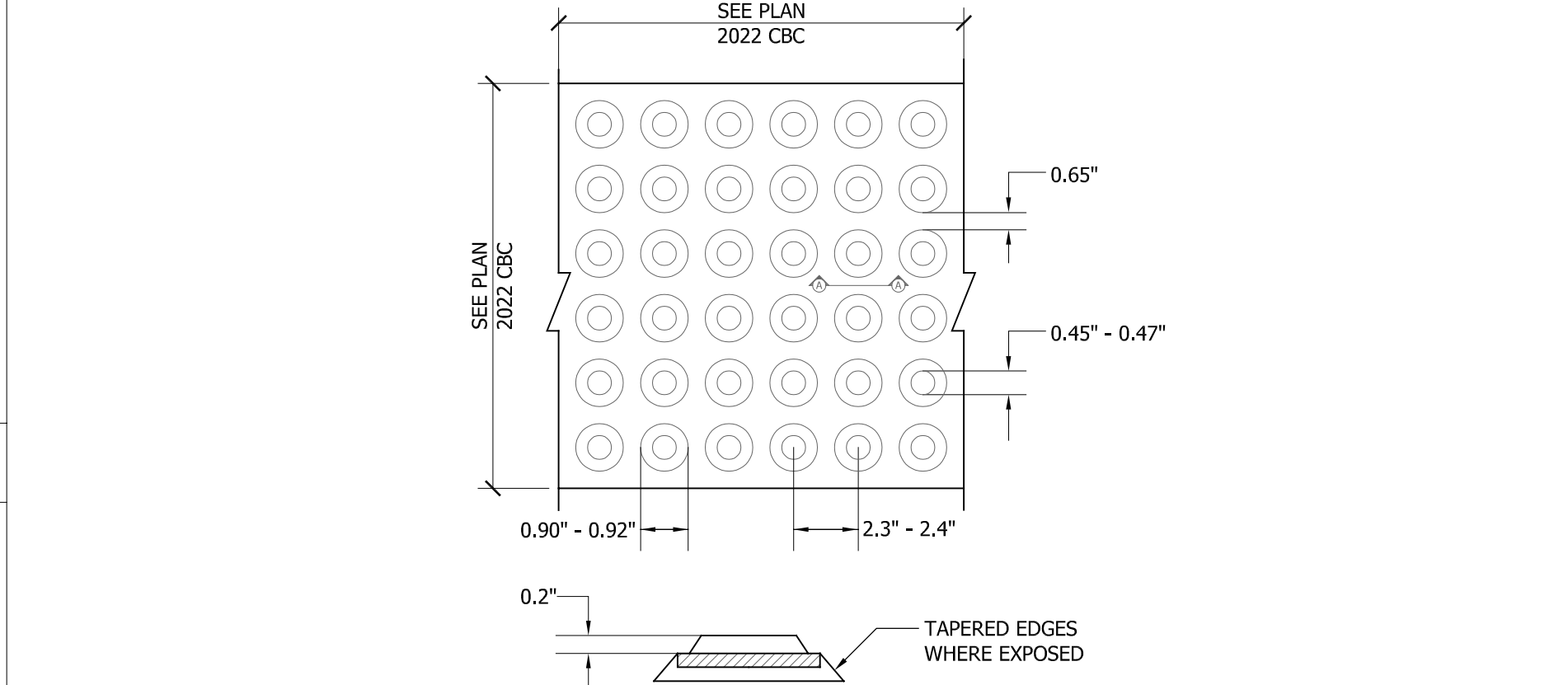
1/4" 5



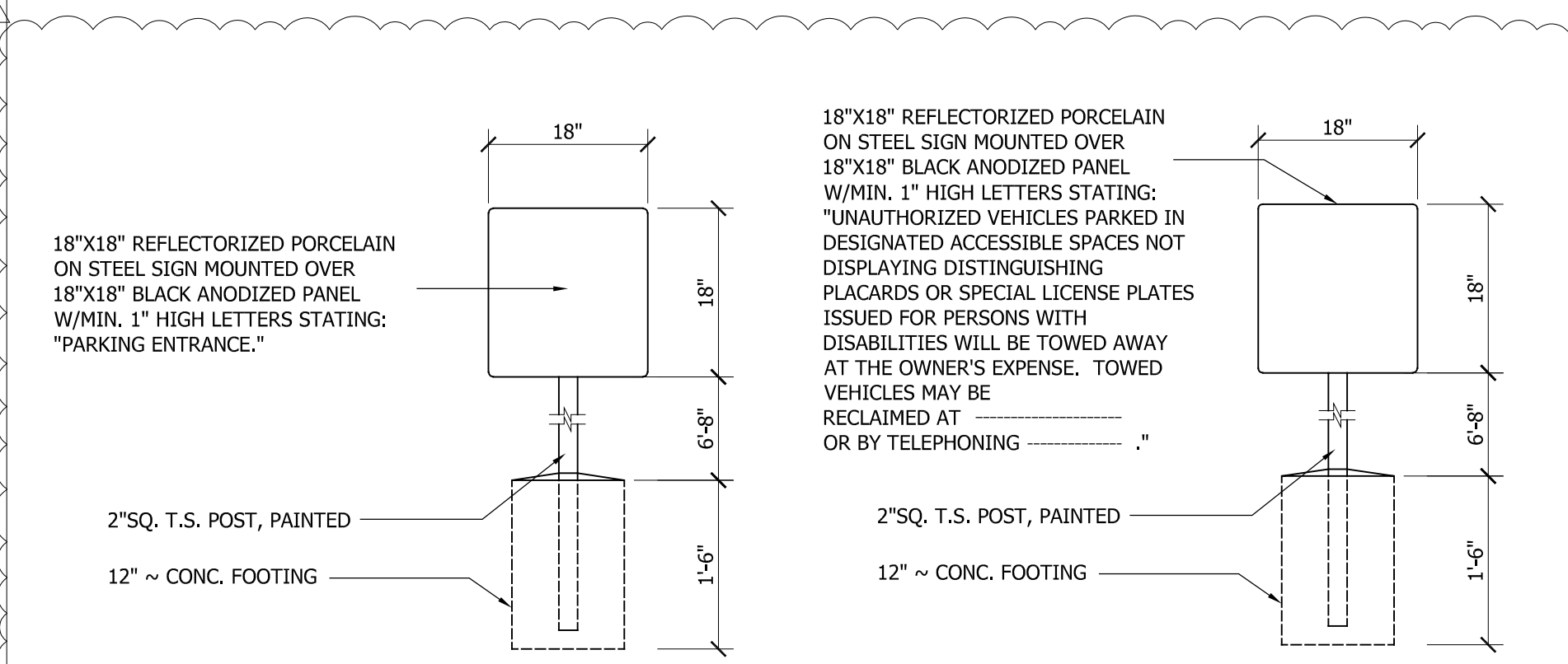
(E) PAINTED ADA SIGN NTS 4



(E) PARKING SIGNAGE NTS 3



(E) TRUNCATED DOME NTS 2



(E) PARKING ENTRANCE SIGN & TOW AWAY SIGN, TYP. NTS 1

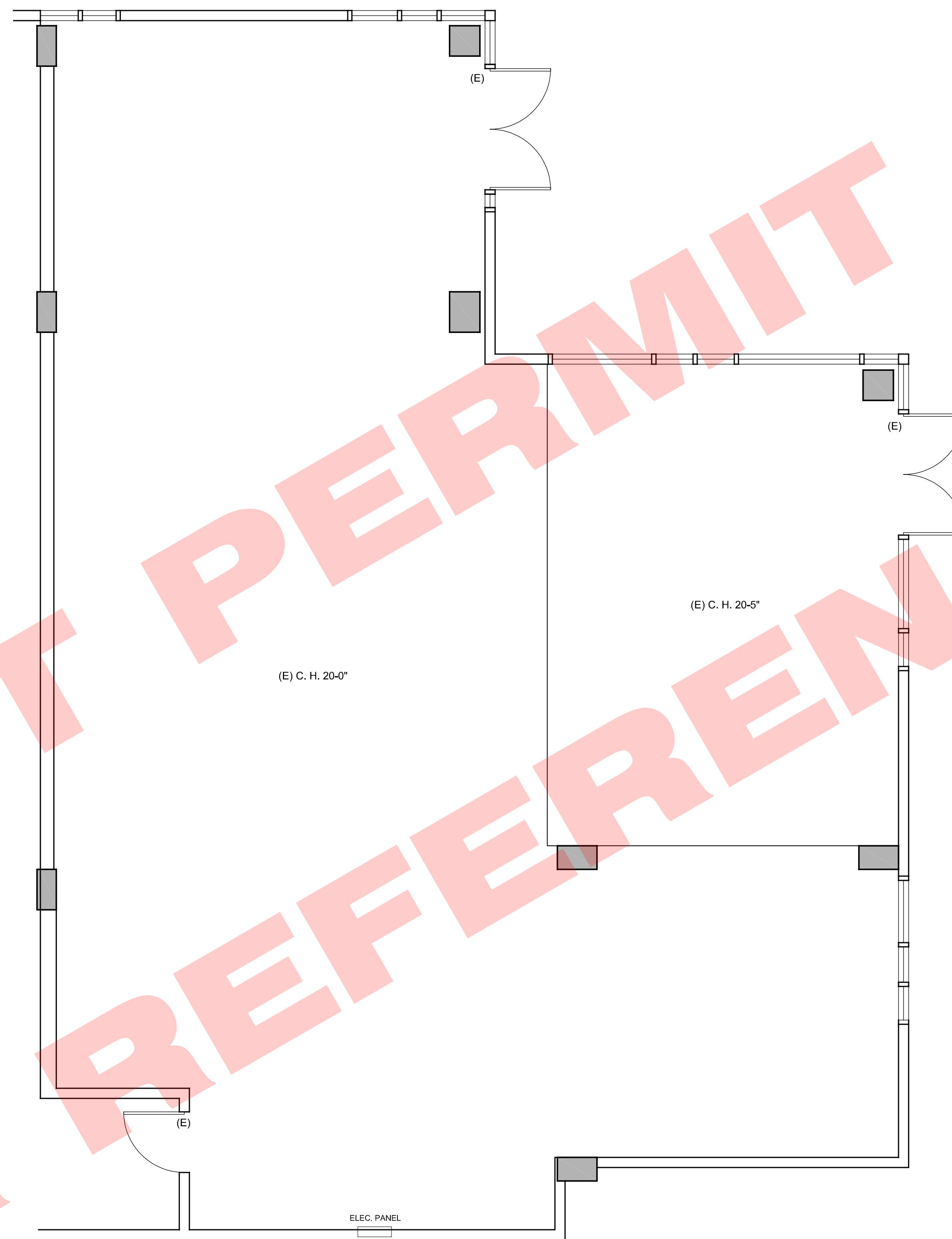
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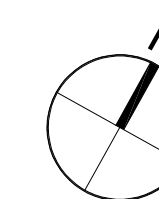
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NOT PERMIT SET
FOR REFERENCE ONLY



LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING DOOR TO DEMO
- EXISTING DOOR TO REMAIN



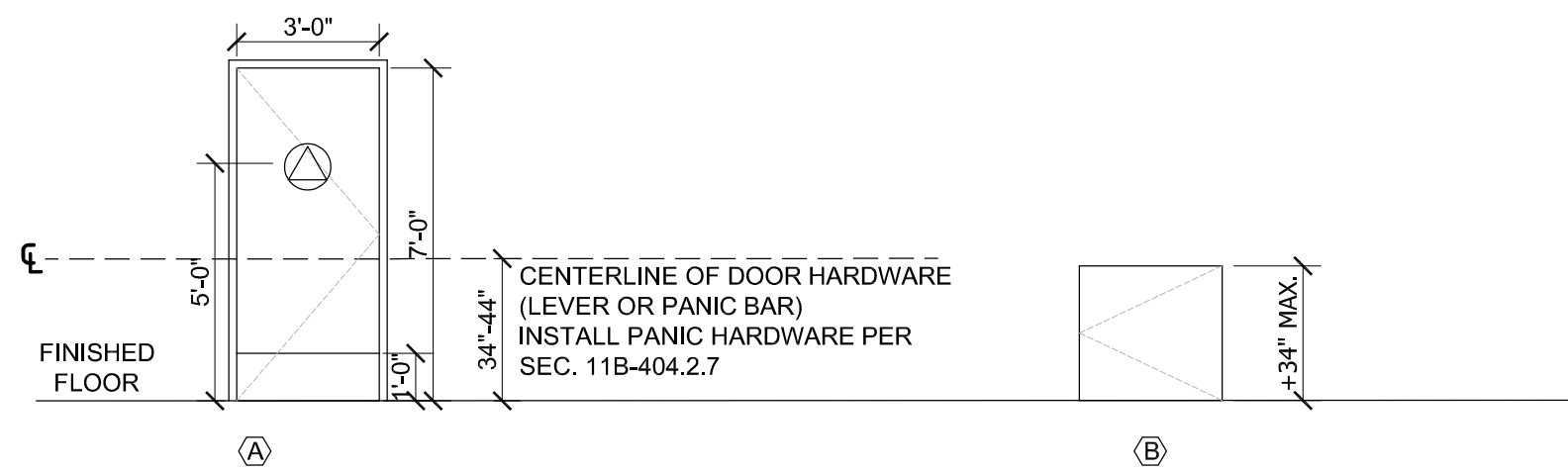
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SHEET TITLE:
EXISTING FLOOR PLAN

SHEET OF:
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DOOR SCHEDULE & NOTES:



DOOR SCHEDULE

- (A) 3'-0"x7'-0"x1-3/4" SOLID CORE DOOR PAINTED.
- (B) 3'-0" COUNTER TOP DOOR

FINISH SCHEDULE

- (E) EXISTING
- FLOOR
 - E1. CERAMIC TILE
 - E2. WOOD TEXTURE CHEVRON FLOORING TILE OR BY OWNER
 - E3. QUARRY TILE
 - E4. LIGHT POLISHED CONCRETE FLOOR OR CONCRETE TILE
- BASE
 - 21. 6" HIGH CONCRETE
 - 22. W/3/8"-INCH RADIUS INTEGRAL COVE BASE
 - E. EXISTING
- WALL
 - 31. OFF-WHITE WALL PAINT
 - 32. 2'X4' WHITE CERAMIC TILE OR BY OWNER
 - 33. FRP UP TO 7'-0" HEIGHT OR TO CEILING
 - 34. S.S. PANEL
 - 35. EXISTING CLEANABLE WALL
- CEILING
 - 41. EXISTING OPEN CEILING
 - 42. CLEANABLE AND WASHABLE NEW HARD CEILING
 - 43. NEW 2'X4' T-BAR CEILING
 - E. EXISTING

HARDWARE SCHEDULE:

| | | |
|---------------------------|----------------------------|---------------|
| GROUP 1 (PER DOOR) | | |
| 1-1/2 PAIR BUTTS | BB179 X 4-1/2 X4-1/2 X 10B | STA (2)HINGES |
| 1 LOCKSET (LEVER TYPE) | W9 X 10B | BBW |
| 1 DOOR STOP | 4030 SERIES SMOOTHIE | |
| 1 CLOSER | | |
| GROUP 2 (PER DOOR) | | |
| 1-1/2 PAIR BUTTS | BB179 X 4-1/2 X4-1/2 X 10B | STA (2)HINGES |
| 1 DOOR STOP | W9 X 10B | BBW |
| 1 PASSAGE (LEVER TYPE) | | SCH |
| 1 CLOSER | 4030 SERIES SMOOTHIE | |

NOTES:

1. ALL ENAMEL PAINTED DRY WALL MUST BE SMOOTH FINISH. COLOR AND FINISHED TO BE DETERMINED BY OWNER. CONTRACTOR TO VERIFY WITH OWNER FOR SPECIFICATIONS PRIOR TO PRICING AND CONSTRUCTION.
2. ALL FLOOR DRAIN SHALL BE EQUIPPED WITH P-TRAP AND SHALL BE SLOPED 1/4":1'-0" FROM WALL TO DRAIN. AND ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
3. ALL WORK TABLE AND CUSTOM SHELVING IS TO BE CABINET QUALITY CONSTRUCTION WITH ALL SURFACES SMOOTH AND ALL CRACKS AND CREVICES SEALED WITH A CAULKING-TYPE SEALANT.
4. CONTRACTOR TO SUBMIT ALL FINISH MATERIAL FOR OWNER AND ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
5. ALL FLOOR SINKS SHALL FLUSH W/ FINISHED FLOOR.
6. INSTALL SINGLE USE SOAP, PAPER TOWER DISPENSERS AND WRIST HANDLE FAUCETS AT ALL HAND SINKS.
7. THE WALLS IN UTENSIL WASHING, JANITORIAL AREA, FOOD PREPARATION, FOOD SERVICE, REST ROOMS ETC. MUST BE LIGHT IN COLOR AND OF MIN. 70% LIGHT REFLECTANCE VALUE
8. ALL ACCESSIBLE DOORS ARE MINIMUM 36" WIDE TO PROVIDE REQUIRED 32" CLEAR WIDTH WHEN OPEN. CBC 11B-404.2.3.
9. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE MINIMUM MANEUVERING CLEARANCES AT DOOR AND GATES SHALL BE COMPLY PER CBC 11B-404.2.4
10. ALL DOOR LANDINGS SHALL BE 1/2" HIGH MAXIMUM. CBC 11B-404.2.5 RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOOR LANDINGS SHALL COMPLY PER CBC 11B-302 AND 11B-303.
11. ALL DOOR EQUIPPED W/SINGLE-EFFORT, LEVER HARDWARE MOUNTED 34"-44" A.F.F. PER CBC 11B-404.2.7
12. DOOR AND GATE CLOSING SPEED SHALL COMPLY PER CBC 11B-404.2.8
13. EXIT DOOR TO BE OPENED FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE, OR EFFORT PER CBC 11B-404.2.9 W/ 5 LBS. MAX. FORCE OF PULLING OR PUSHING
14. SWINGING DOOR AND GATE SURFACE WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. CBC 11B-404.2.10
15. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXIST: PLACES OF DETENTION OR RESTRAINT. IN BUILDINGS IN OCCUPANCY GROUP A HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS B, F, M AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
 - THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
 - A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1 INCH (25 MM) HIGH ON A CONTRASTING BACKGROUND.
 - THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
16. EMERGENCY LIGHTING SHALL NOT BE CONTROLLED BY OCCUPANCY SENSORS AND/OR ENERGY LIGHT SAVING CONTROLLING MEASURES CFC SEC. 1008.
17. TACTILE SIGNS SUCH AS EXIT SIGNS AND RESTROOM WALL SIGNS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE LOWER BRAILLE CELLS AND 60" MAXIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS PER CBC 11B-703.4.1.
18. ALL PORTIONS OF THE BUILDINGS SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER, THE MINIMUM SIZE OF THE EXTINGUISHER SHALL BE 2-A-10-BC. CFC SEC. 906.
19. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH AS POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
20. OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FINISH FLOOR SHALL PROTRUDE 4 INCHES MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH AND ACCESSIBLE ROUTE PER CBC 11B-307.2.
21. THE MAXIMUM CLOSURE FORCE : 5 POUNDS MAX FOR EXTERIOR DOORS FOR INTERIOR DOOR, AND 15 POUNDS FOR FIRE DOORS.
22. THE MAXIMUM PILE HEIGHT OF THE CARPET SHALL NOT EXCEED 1/2 INCH. SECTION 11B-302.2
23. ELECTRICAL SWITCHES AND THERMOSTATS IN ACCESSIBLE AREAS SHALL BE INSTALLED BETWEEN THREE AND FOUR FEET ABOVE THE FLOOR PER SECTION 11B-308.1.1
24. RECEPTACLE OUTLETS IN ACCESSIBLE SHALL BE INSTALLED AT LEAST 15 INCHES ABOVE FLOOR PER SECTION 11B-308.1.2
25. COMPLY 100% WITH TITLE 24 HANDICAP STANDARD.
26. ALL COUNTERS MUST BE +34" HT. INCLUDING FRONT COUNTER.
27. SIGNS SHALL HAVE A MINIMUM OF 1-INCH BLOCK LETTERS AND NUMBERS ON A CONTRASTING BACKGROUND SO AS TO BE READILY VISIBLE. ALLOWABLE SMALLER LETTERING SHALL BE A MINIMUM OF 3/8"-INCH BLOCK LETTERING. SIGN SHALL STATE "MAXIMUM OCCUPANT LOAD 49"
28. IN ALTERATIONS WHERE SIGN INSTALLATION LOCATIONS IDENTIFIED IN SECTION 11B-703.4.2 ARE OBSTRUCTED OR OTHERWISE UNAVAILABLE FOR SIGN INSTALLATION, SIGNS WITH TACTILE CHARACTERS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

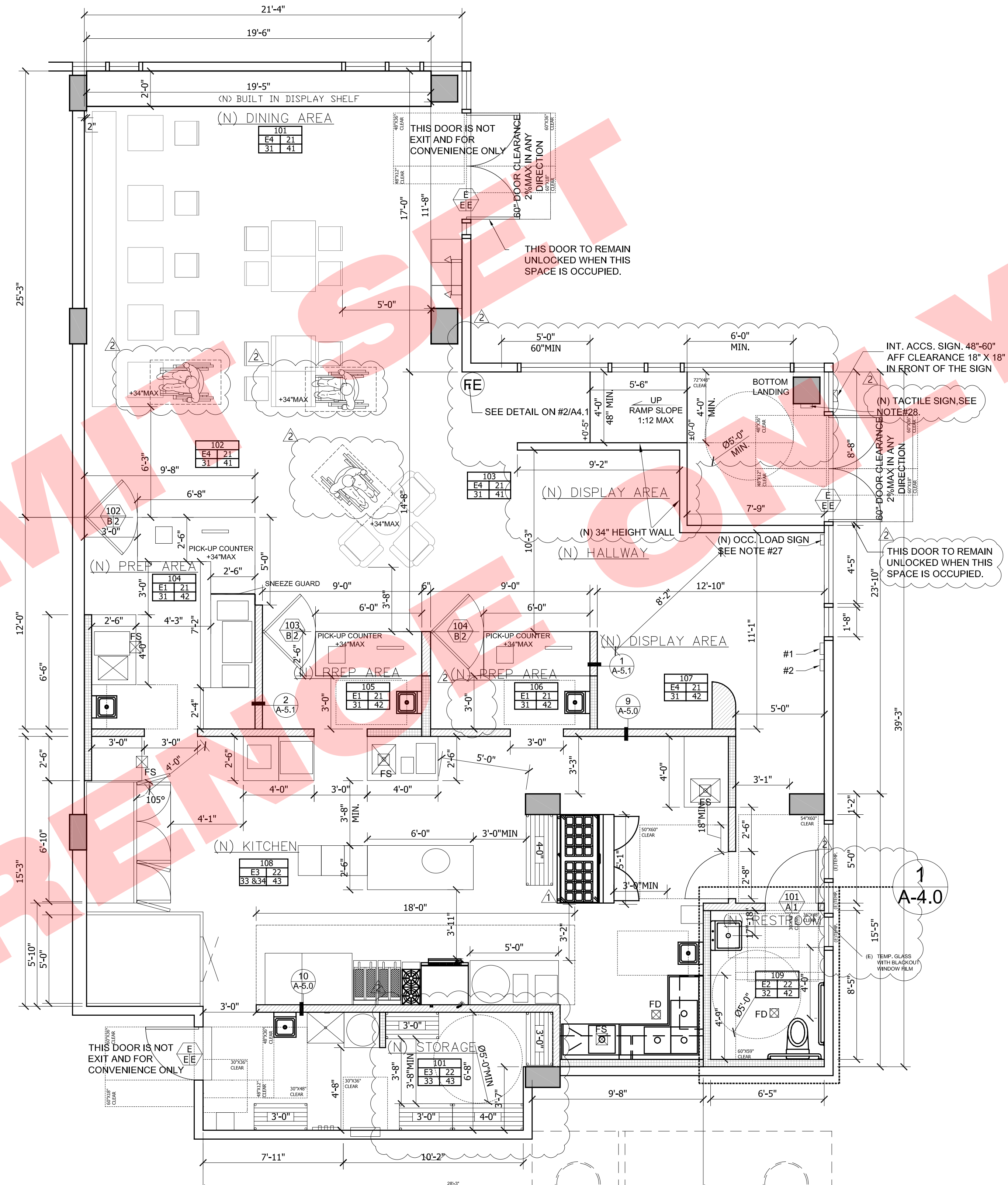
LEGEND:

- PONY WALL, SEE STRUCTURE DRAWING
- EXISTING WALL TO REMAIN
- EXISTING WINDOW / STOREFRONT TO REMAIN / PROPOSED WINDOW
- EXISTING DOOR TO REMAIN / PROPOSED DOOR
- (N) WALL
3 5/8" X 20 GA. METAL STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP.BD. ON BOTH SIDES SEE FINISH SCHEDULE FOR MORE DETAILS
- (N) PLUMBING WALL
3 5/8" X 20 GA. METAL STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP.BD. ON BOTH SIDES
- DOOR NUMBER
- DOOR SCHEDULE HARDWARE GROUP
- NEW EXIT SIGNS
NOTE:
IN THE CUSTOMER AREA, G.C. SHALL USE "RELXTE RECESSED ALUMINUM LED EGGLET EXIT SIGN" OR EQUIVALENT. OTHER THAN THE LOCATION ON THE FLOOR PLAN, IT SHALL FOLLOW THE LOCAL FIRE JURISDICTION'S NOTES AND COMMENTS.
- #1 2HR BYPASS SWITCH
AUTOMATIC SHUT-OFF SWITCH
- #2
- FLOOR DRAIN
- FLOOR SINK

FIRE EXTINGUISHER (BY CONTRACTOR)
ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE FIRE EXTINGUISHER SHALL BE 2-A-10-BC. (RECESSED CABINET FOR F.E. IN THE CUSTOMER-FACING AREAS)
TYPE "K" MIN. IN THE COOKING AREA

STORAGE AREA CALCULATION:

- (4) 3'-0" RACK SHELVING W/5 TIERS =60 LF
- (2) 4'-0" RACK SHELVING W/5 TIERS =40 LF
- TOTAL LINEAR FEET =100 LF > 96 LF MIN. REQUIREMENT

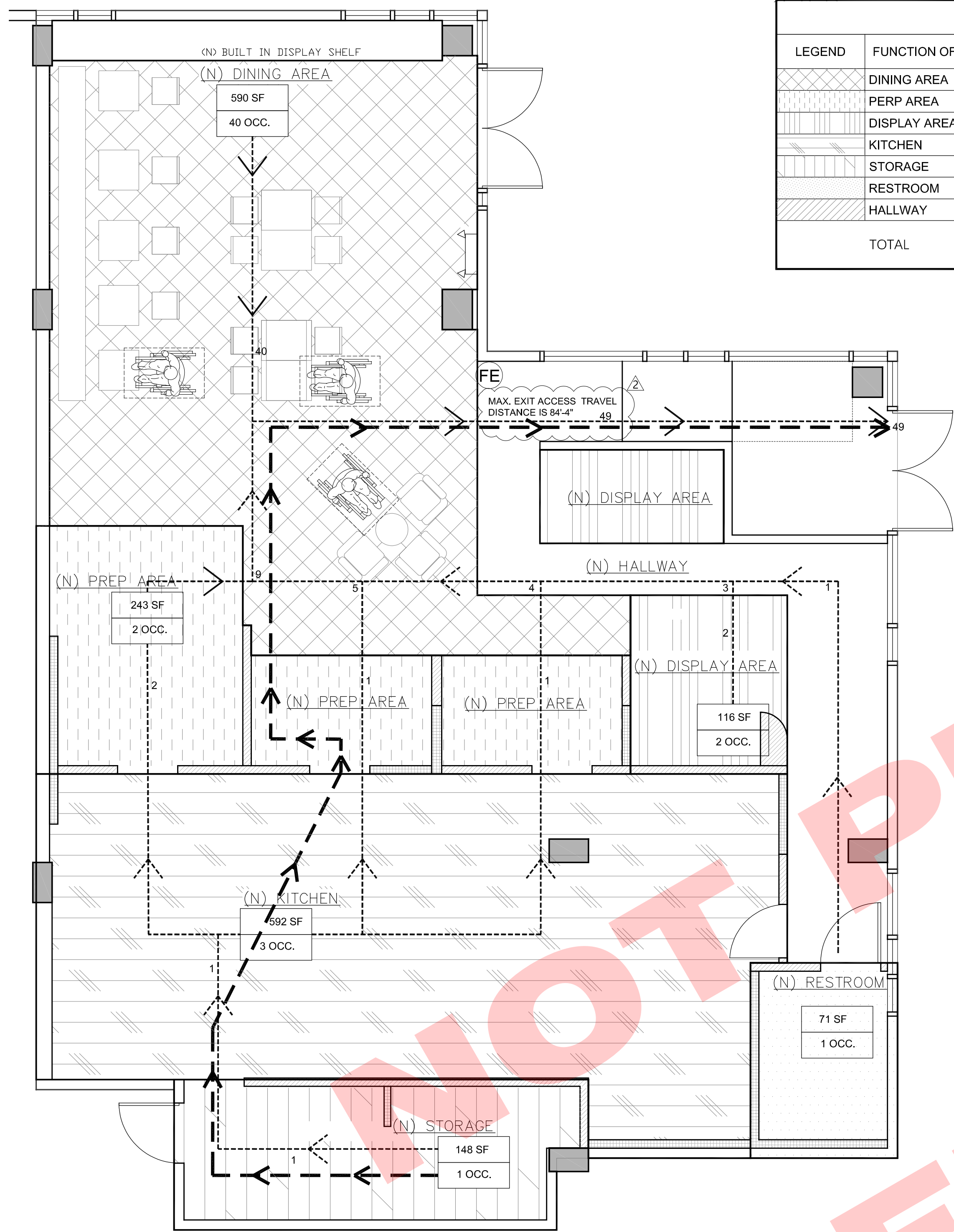


PROJECT:
**FREMONT FOOD HALL
TENANT IMPROVEMENT**

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SHEET TITLE:
**PROPOSED
FLOOR PLAN**

SHEET OF:
A-2.0



| EGRESS PLAN | | | | |
|-------------|-------------------|---------------------------|---------------|----------------------|
| LEGEND | FUNCTION OF SPACE | AREA(SQ.FT) | OCCUPANT LOAD | OCCUPANT LOAD FACTOR |
| [Pattern] | DINING AREA | 590NET | 40 | 1/15 NET |
| [Pattern] | PERP AREA | 243 | 2 | 1/200 GROSS |
| [Pattern] | DISPLAY AREA | 113 | 2 | 1/60 GROSS |
| [Pattern] | KITCHEN | 592 | 3 | 1/200 GROSS |
| [Pattern] | STORAGE | 148 | 1 | 1/300 GROSS |
| [Pattern] | RESTROOM | 71 | 1 | 1/150 GROSS |
| [Pattern] | HALLWAY | 393 | | |
| | TOTAL | 2,150 INCLUDE WALLS | 49 | |

MAX. OCCUPANT LOAD IS 49, THE MAX. EXIT ACCESS TRAVEL DISTANCE IS 84'-4" LESS THAN 100 FEET WITH FIRE SPRINKLER SYSTEM. PER CBC 1006.3.4, ONE EXIT IS ALLOWED.

REQUIRED CAPACITY OF EXIT : 49 X 0.2=9.8"

PLUMBING CALCULATION:
 ** PER CODE CPC TABLE 422.1 AND TABLE 4-1
 DINING AREA : 590 SF
 DISPLAY AREA : 113 SF
 PREP AREA AND KITCHEN : 835 SF
 HALLWAY + RESTROOMS + STORAGE = 612 SF (EXCLUDE IN CALCULATION, SEE NOTES)
 TOTAL : 2,150 SF

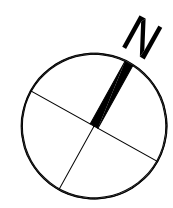
590 SF/30 =46
 113 SF/15 =8
 835 SF/50 =17

TOTAL :71 PLUMBING LOADS
 REQUIRED # OF TOILETS: 1
 REQUIRED # OF URINALS: 1
 REQUIRED # OF SINK: 1
 DRINKING FOUNTAIN: REQUIRED 1
 1 SERVICE SINK OR LAUNDRY TRAY

NOTE: FOR A BUILDING OR SPACE WITH MIXED OCCUPANCIES, USE APPROPRIATE OCCUPANCY GROUP FOR EACH AREA (FOR EXAMPLE, A SCHOOL MAY HAVE AN "A" OCCUPANCY FOR THE GYMNASIUM, A "B" OCCUPANCY FOR THE OFFICE, AN "E" OCCUPANCY FOR THE CLASSROOMS, ETC.). ACCESSORY AREAS SUCH AS, BUT NOT LIMITED TO, HALLWAYS/CORRIDORS, STAIRWAYS, RAMPS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS AND FIXED EQUIPMENT, MAY BE EXCLUDED.

- LEGEND:**
- > EXIT ACCESS TRAVEL DISTANCE
 - > PATH OF EGRESS TRAVEL
 - [100 SF / 1] AREA OCCUPANCY CONTENT
 - [EXIT] NEW EXIT SIGNS WITH EMERGENCY LIGHTS
 - [Light symbol] EXIT LIGHT WITH 90 MIN BATTERY BACK UP (CEC LISTED), SHADE INDICATES QUANTITY OF SIGNS.
 - [Light symbol] EMERGENCY LIGHT WITH 90 MIN BATTERY BACK UP (CEC LISTED), SHADE INDICATES QUANTITY OF SIGNS.

- LEGEND:**
- [Open ceiling symbol] (E) OPEN CEILING
 - [Washable hard ceiling symbol] (N) WASHABLE HARD CEILING
 - [T-bar ceiling symbol] (N) 2"x4" T-BAR CEILING
 - [Recessed light symbol] (N) RECESSED LIGHT (L-1)
 - [Pendant light symbol] (N) 90-260V PENDANT LIGHT (L-2)
 - [Pendant light symbol] (N) 90-260V PENDANT LIGHT (L-3)
 - [Chandelier light symbol] (N) CHANDELIER LIGHT (L-4)
 - [Track light symbol] (N) 40 WATTAGE, 5-LIGHT LINEAR TRACK LIGHT (L-5)
 - [LED lighting symbol] (N) 2"x4" LED LIGHTING (L-6)
 - [Linear light fixture symbol] (N) LINEAR LIGHT FIXTURE, LED (L-7)
 - [Exit sign symbol] (N) EXIT SIGNS WITH EMERGENCY LIGHT
 - [Exit light symbol] EXIT LIGHT WITH 90 MIN BATTERY BACK UP (CEC LISTED), SHADE INDICATES QUANTITY OF SIGNS.
 - [Emergency light symbol] EMERGENCY LIGHT WITH 90 MIN BATTERY BACK UP (CEC LISTED), SHADE INDICATES QUANTITY OF SIGNS.
 - [Vent damper symbol] VENT DAMPER
 - [Register symbol] (N) REGISTER
 - [Exhaust fan symbol] EXHAUST FAN



PROPOSED EXIT PLAN

1/4" 1

PROPOSED CEILING PLAN

1/4" 1

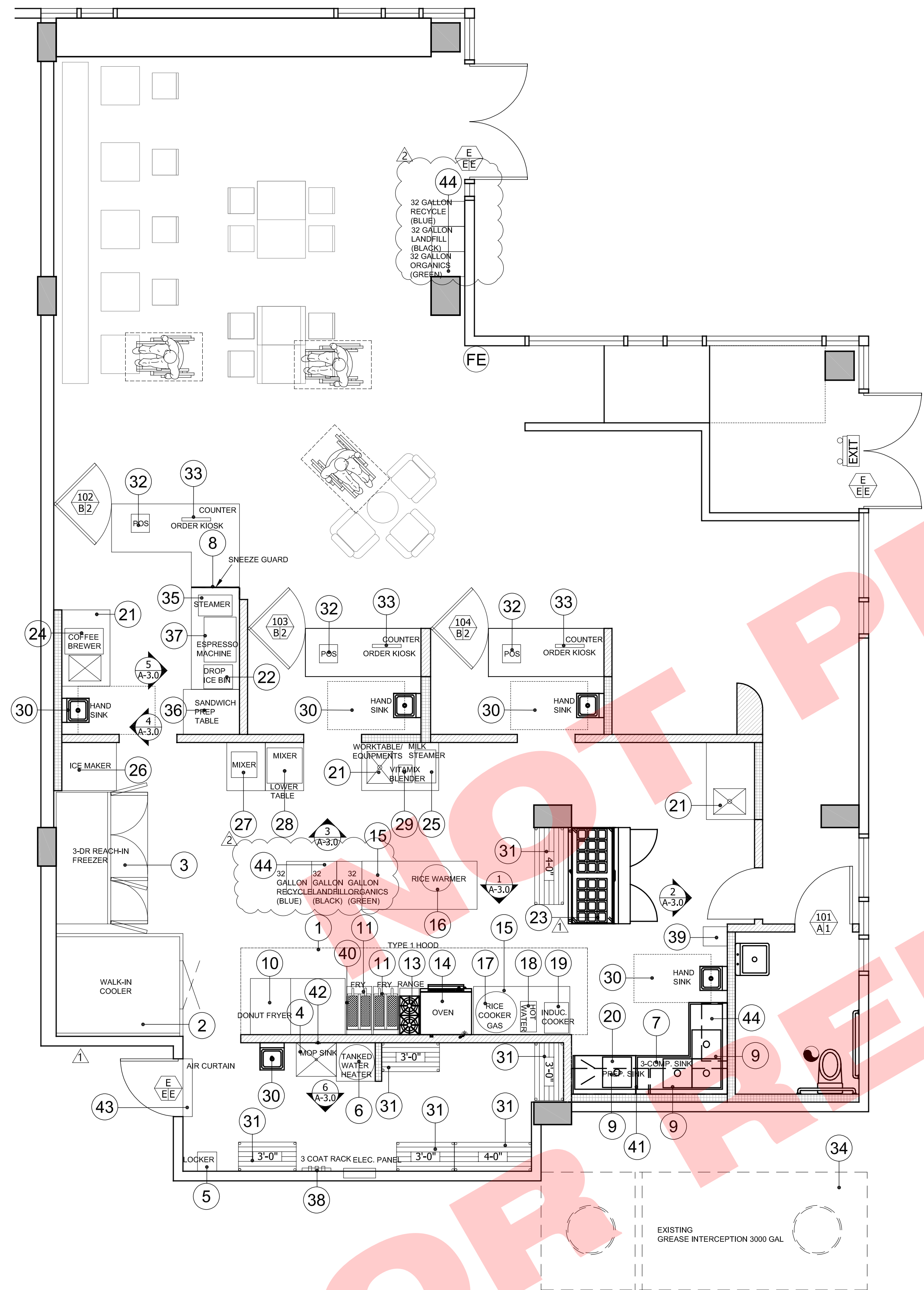
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SHEET TITLE:
**PROPOSED EXIT
 PLAN &
 CEILING PLAN**

SHEET OF:
A-2.1

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| EQUIPMENT LIST | | | | | |
|----------------|--------------------------------|----------|--|--------------------------------|--|
| NO. | NAME | QUANTITY | MANUFACTURER | MODEL NUMBER | REMARK |
| 1 | TYPE #1 HOOD | 1 | ECONAIR | 5424EX-2-PSP-F | 1980 CFM |
| 2 | WALK-IN COOLER | 1 | MASTER-BILT | QSB7456-C | NSF LISTED, 7.78 AMPS, 60 HERTZ, 208-230 VOLTS, WITHOUT RAISED FLOOR |
| 3 | BOTTOM MOUNT REACH-IN FREEZERS | 1 | ATOSA | MBF8504GR | 208-230/115/60/1 |
| 4 | MOP SINK | 1 | REGENCY | 600SPL1620LR | NSF LISTED |
| 5 | EMPLOYEE LOCKER | 1 | KELMAX | 4K0090 | NSF LISTED |
| 6 | WATER HEATER | 1 | AD SMITH | BTX-100 | NSF LISTED |
| 7 | 3-COMPARTMENT SINK | 1 | REGENCY | 600S31818XC | NSF APPROVED |
| 8 | SNEEZE GUARD | 1 | ADM | P-100 | NSF APPROVED |
| 9 | WALL MOUNTED SHELF | 2 | REGENCY | 600TWMS1648 | NSF APPROVED |
| 10 | WALL MOUNTED SHELF | 1 | REGENCY | 600TWMS1636 | NSF APPROVED |
| 11 | DONUT FRYER | 1 | BELSHAW ADAMATIC | 624 | 208/240/380/440, NSF APPROVED |
| 12 | HOT DOG FRYER | 2 | PITCO | SG14 | 50-60 HERTZ, 110,000 BTU, NSF LISTED |
| 13 | UNDERCOUNTER FRIDGE | 1 | AVANTCO | AU-48R-HC | 1.33 AMPS, 115 VOLTS, NSF APPROVED |
| 14 | RANGE | 1 | AVANTCO | 177CAGR212 | 50,000 BTU, NSF LISTED |
| 15 | CAKE OVEN | 1 | TURBOFAN | E27M3 & SK2731U | 208V, 50/60 HZ, 1-PHASE, 4.2KW, 20A |
| 16 | PREP TABLE | 1 | REGENCY | 600T2436G | NSF APPROVED |
| 17 | PREP TABLE | 1 | REGENCY | 600T3048G | NSF APPROVED |
| 18 | PREP TABLE | 1 | REGENCY | 600T3060G | NSF APPROVED |
| 19 | PREP TABLE | 1 | REGENCY | 60ST3072L | NSF APPROVED |
| 20 | RICE WARMER | 1 | TOWN | 56919NF | 120 VOLTS, 100 WATTS, NSF APPROVED |
| 21 | RICE COOKER | 1 | TOWN | RM-55N-R | NSF LISTED |
| 22 | HOT WATER | 1 | BUNN | H10X-80-208 | 208 VOLTS, 38.7 AMPS, 8050 WATTS, NSF LISTED |
| 23 | INDUCTION COOKER | 1 | WINCO | EICS-34 | 240V, 60HZ, 3400W, 15 AMPS, NSF LISTED |
| 24 | PREP SINK | 1 | STEELTON | 522CS11818 | NSF LISTED |
| 25 | WORK TABLE WITH SINK | 2 | REGENCY | 600STCB3048R | NSF LISTED |
| 26 | DROP ICE BIN | 1 | REGENCY | 600DI181812 | NSF LISTED |
| 27 | TOPPING TABLE | 1 | BEVERAGE-AIR | SPE60HC-24M | 9.6 AMPS, 60 HERTZ, 115 VOLTS |
| 28 | COFFEE BREWER | 1 | BUNN | 38700.0013 AXIOM APS | 26 AMPS, 60 HERTZ, 120 / 240 VOLTS, NSF LISTED |
| 29 | MILK STEAMER | 1 | ASTRA | STA1800 | 20 AMPS, 110 VOLTS, 2000 WATTS |
| 30 | ICE MAKER | 1 | MANITOWOC | 1T0750A & 1Y0750A | 11.1 AMPS, 60 HERTZ, 208-230V, NSF LISTED, UL LISTED |
| 31 | PPM-10 MIXER | 1 | ATOSA | PPM-10 | 115V 60HZ |
| 32 | PPM-20 MIXER | 1 | ATOSA | PPM-20 | 115V 60HZ-1P |
| 33 | VITAMIX BLENDER | 1 | VITAMIX | 36019-ABAB | 15 AMP, 50HZ, 120 VOLTS, NSF LISTED |
| 34 | HAND SINK | 3 | REGENCY | 600HS12SP | NSF LISTED |
| 35 | WIRE SHELVING | 4 | REGENCY | 460EC1836 | NSF LISTED |
| 36 | WIRE SHELVING | 2 | REGENCY | 460EC1848 | NSF LISTED |
| 37 | POS | 3 | NET PAY | STATION PRD | SEE SPEC |
| 38 | ORDER KIOSK | 3 | APPLDVA | APPKIOSK15B-IPP320 | SEE SPEC |
| 39 | GREASE INTERCEPTION | 1 | JEMSEN PRECAST GREASE INTERCEPTOR, 3000 GALLON INTERCEPTOR, PROVIDE EXCRETION AS REQUIRE WITH H-20 COVER PLATE, MODEL JZ3000EE-G, W/SAMPLE BDX | MODEL JZ3000EE-G | EXISTING |
| 40 | SEMI-AUTOMATIC STEAMER | 1 | ASTRA | STS4800 | 4800W / 220V / 30 AMPS |
| 41 | SANDWICH PREP TABLE | 1 | AVANTCO | 178APT27MHC | 60 HERTZ / 115 VOLTS / 2 AMPS |
| 42 | ESPRESSO MACHINE | 1 | ASTRA | M2-012 | 4500W / 220V / 30 AMPS |
| 43 | COAT HOOK | 1 | SAFCD | 4201 | 3 HOOK COAT RACK |
| 44 | WASTE OIL STORAGE CONTAINER | 1 | PITCO | D9109105 | |
| 45 | SPLASH GUARD FOR FRYER | 2 | ASSURE | 190FG1820 | |
| 46 | SPLASH GUARD FOR SINK | 2 | ADVANCE TABCO | K-700F-18 | NSF LISTED |
| 47 | MOP SINK FAUCET | 1 | WATERLOO | 750FMS8 | NSF LISTED |
| 48 | AIR CURTAIN | 1 | MARS | STD236-1U-08 OR APPROVED EQUAL | 115V/1-PH/60-HZ |
| 49 | INDOOR RECYCLE BIN | 3 | RECYCLEAWAY | 32 GALLON | |

HEALTH DEPARTMENT NOTES:

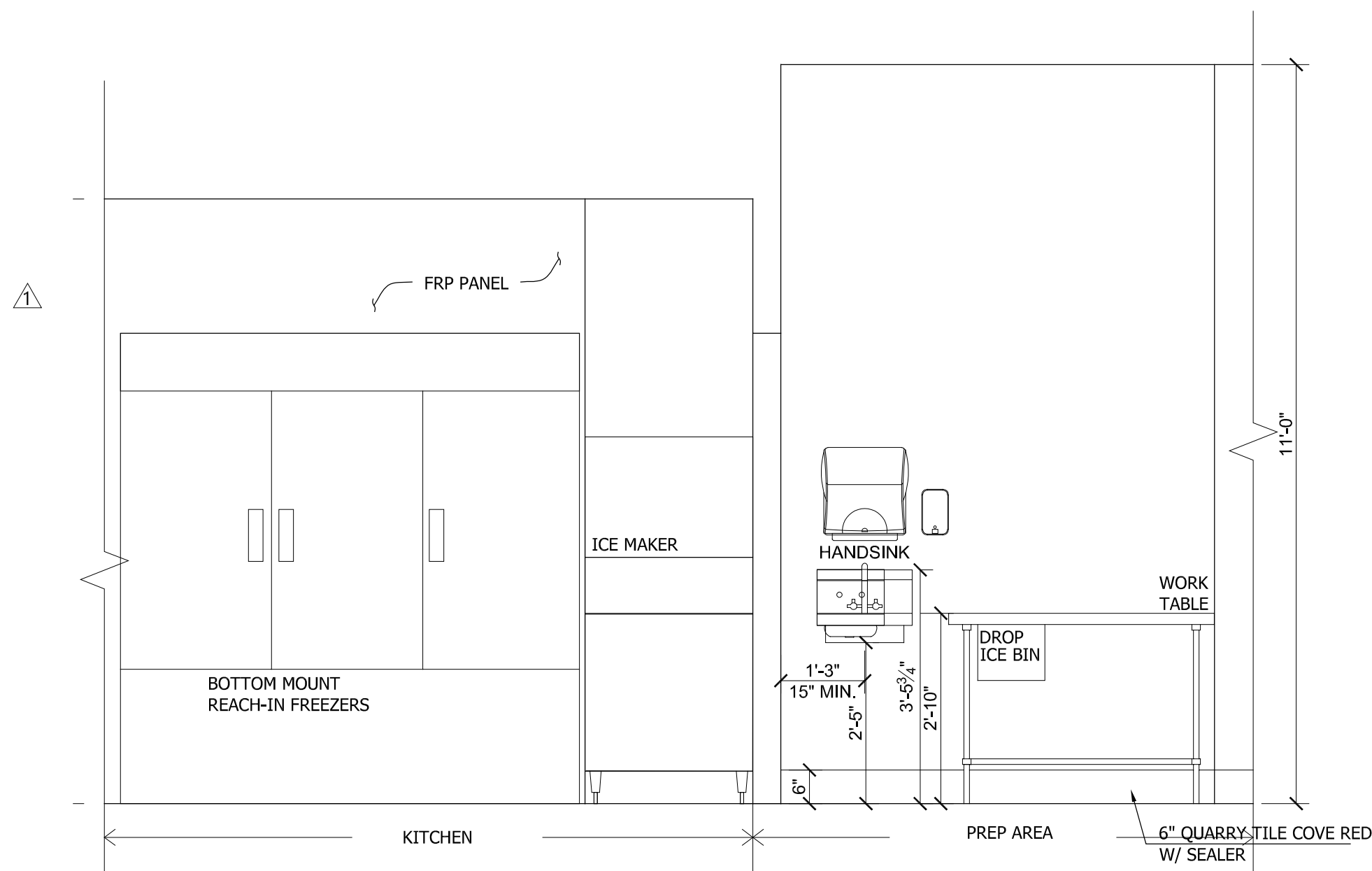
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR AT THE TIME OF INSPECTION. PER CMC 304.0
- ALL EQUIPMENT SHALL BE APPROVED CERTIFICATION SUCH AS NSF APPROVED, UL LISTED, ETL, AND/OR EQUAL, AND APPROVED BY OWNER.
- ANCHOR LOCKERS SECURELY TO A WALL STUD.
- ALL EQUIPMENT AND COUNTER CABINET SHALL BE INSTALLED ON 6" HIGH ROUND METAL COMMERCIAL CASTORS, OR COMPLETELY SEALED IN PLACE ON A 4" HIGH CURB OR PEDESTAL WITH INTEGRAL COVE BASE WITH 3/8" RADIUS CONTINUOUS WITH THE FLOOR.
- FLOOR SINKS SHALL BE EASILY ACCESSIBLE FOR MAINTENANCE AND CLEANING. FOOD PREPARATION SINK, DUMP SINK, AND 3-COMPARTMENT SINK LINES WILL TERMINATE ABOVE THE FLOOR SINK DRAIN WITH A MINIMUM 1" AIR GAP.
- ALL FOOD AND UTENSIL-RELATED EQUIPMENT SHALL BE CERTIFIED TO APPLICABLE SANITATION STANDARDS BY AN ANSI ACCREDITED TESTING AGENCY.
- AT THE FINAL INSPECTION, ALL UTILITIES AND EQUIPMENT ARE TO BE IN PLACE AND FUNCTIONAL.
- REFRIGERATION UNITS SHALL HAVE AN AMBIENT AIR TEMPERATURE OF 38°F OR BELOW AND SHALL BE EQUIPPED WITH A THERMOMETER ACCURATE TO +/- 2°F IN THE WARMEST SECTION OF THE UNIT. HAND WASHING SINKS SHALL HAVE WARM WATER BETWEEN 100° AND 108° F UNDER PRESSURE FOR A MINIMUM OF 15 SECONDS. HOT WATER SHALL BE A MINIMUM 120°F TO FAUCETS.
- OBTAIN LOCAL BUILDING DEPARTMENT AND ALL APPLICABLE AGENCY PERMITS AND APPROVALS.
- SEAL ALL CRACKS, GAPS AND CREVICES IN COUNTERS, CABINETS, AROUND METAL FLASHING, SINK BACKS PLASHES, AROUND PIPES AND CONDUITS WITH AN APPROVED SEALANT.
- THE JANITORIAL SINK EQUIPPED WITH HOT (120°F) AND COLD WATER. THE JANITORIAL SINK MUST BE SECURELY ATTACHED TO THE WALL, THE RIM OF THE SINK SHALL BE NO MORE THAN 30" ABOVE THE FLOOR. THE WALL SURFACE BEHIND AND THE 24" AROUND THE JANITORIAL SINK SHALL BE WATER-RESISTANT SUCH AS FRP, TILE, STAINLESS STEEL, OR EQUIVALENT.
- PROVIDE A CHEMICAL AND SOAP STORAGE SHELVING WITH MOP RACK IN ABOVE THE MOP SINK.
- A SPLASH GUARDS IS REQUIRED WHEN SINKS ADJACENT TO FOOD, UTENSIL, EQUIPMENTS, LINENS OR FOOD PREPARATION SURFACES. THE SPLASH GUARD MUST BE A MINIMUM 6" HIGH EXTEND FROM THE BACK EDGE OF THE SINKS THE FRONT EDGE OF THE SINKS, HAVE ROUNDED CORNERS.)
- ANY UNDER COUNTER SHELVING/INTERIOR SHALL BE LAMINATED INSIDE AND OUT, OR PROVIDE CLEANABLE SURFACE.

PROJECT:
**FREMONT FOOD HALL
TENANT IMPROVEMENT**

| REVISION | | |
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SHEET TITLE:
**EQUIPMENT
PLAN
SCHEDULE**

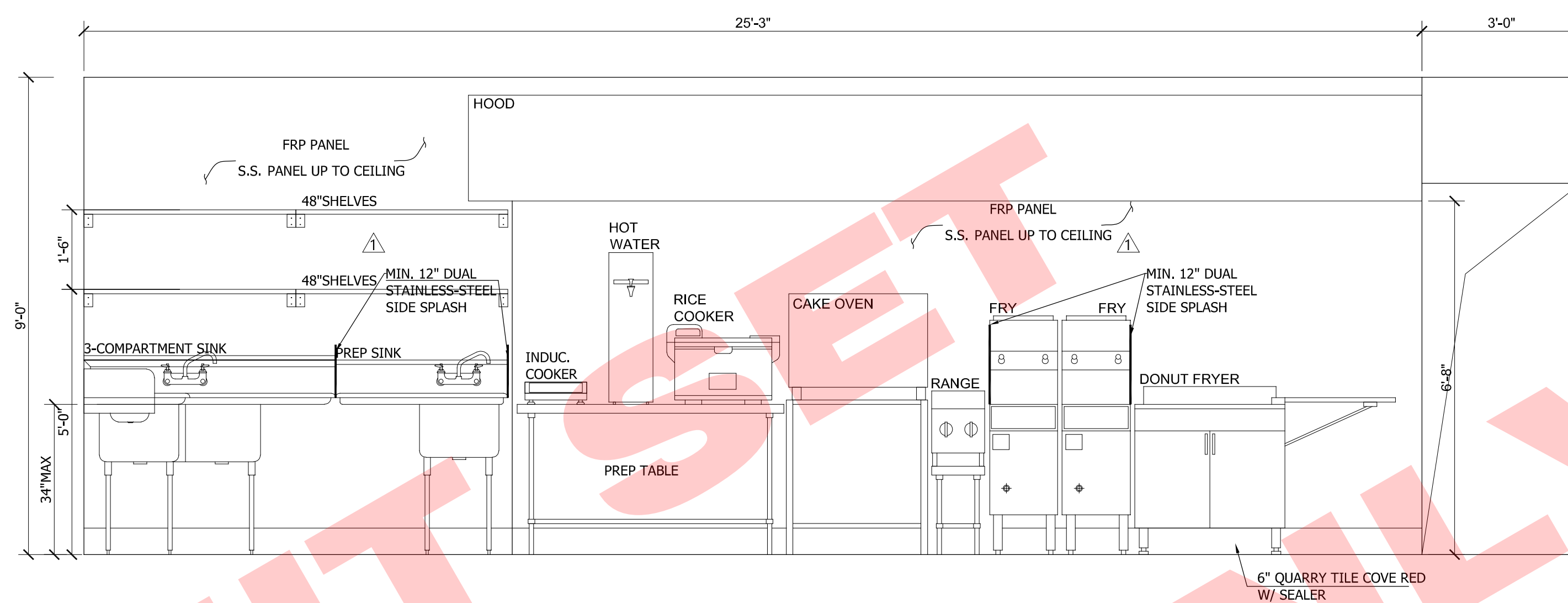
SHEET OF:
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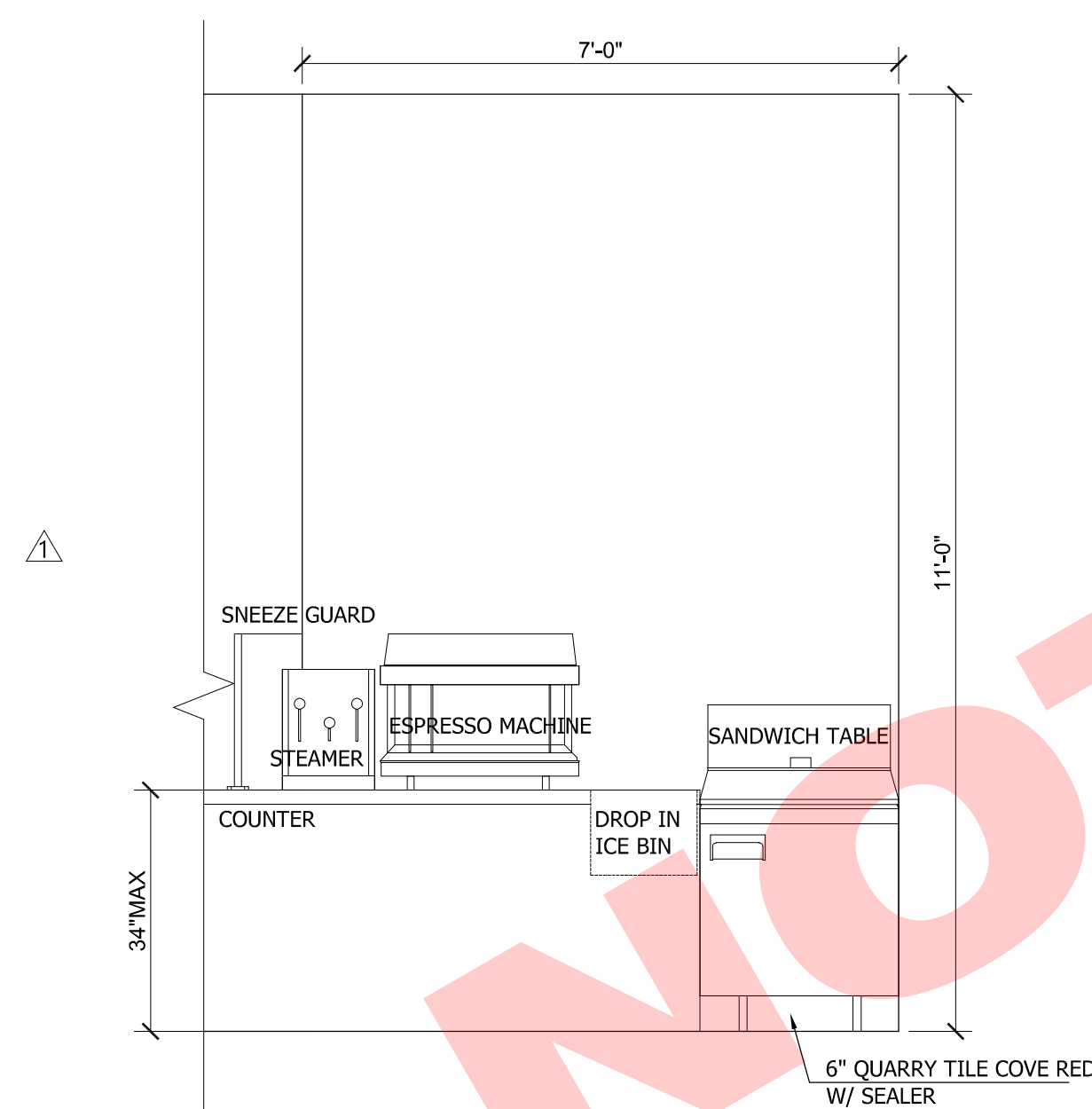
SERVICE AREA ELEVATION

1/2" 4

KITCHEN ELEVATION



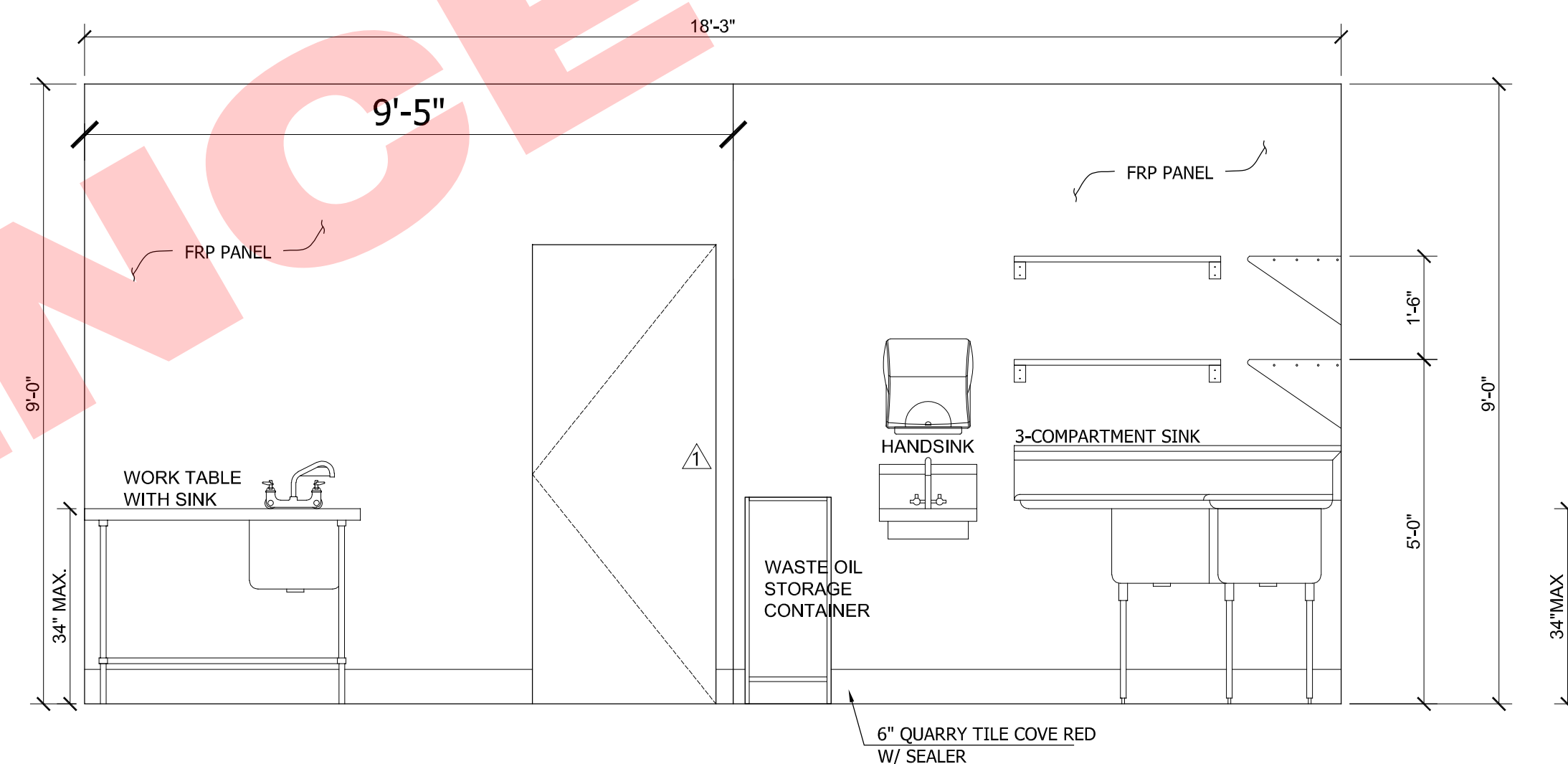
1/2" 1



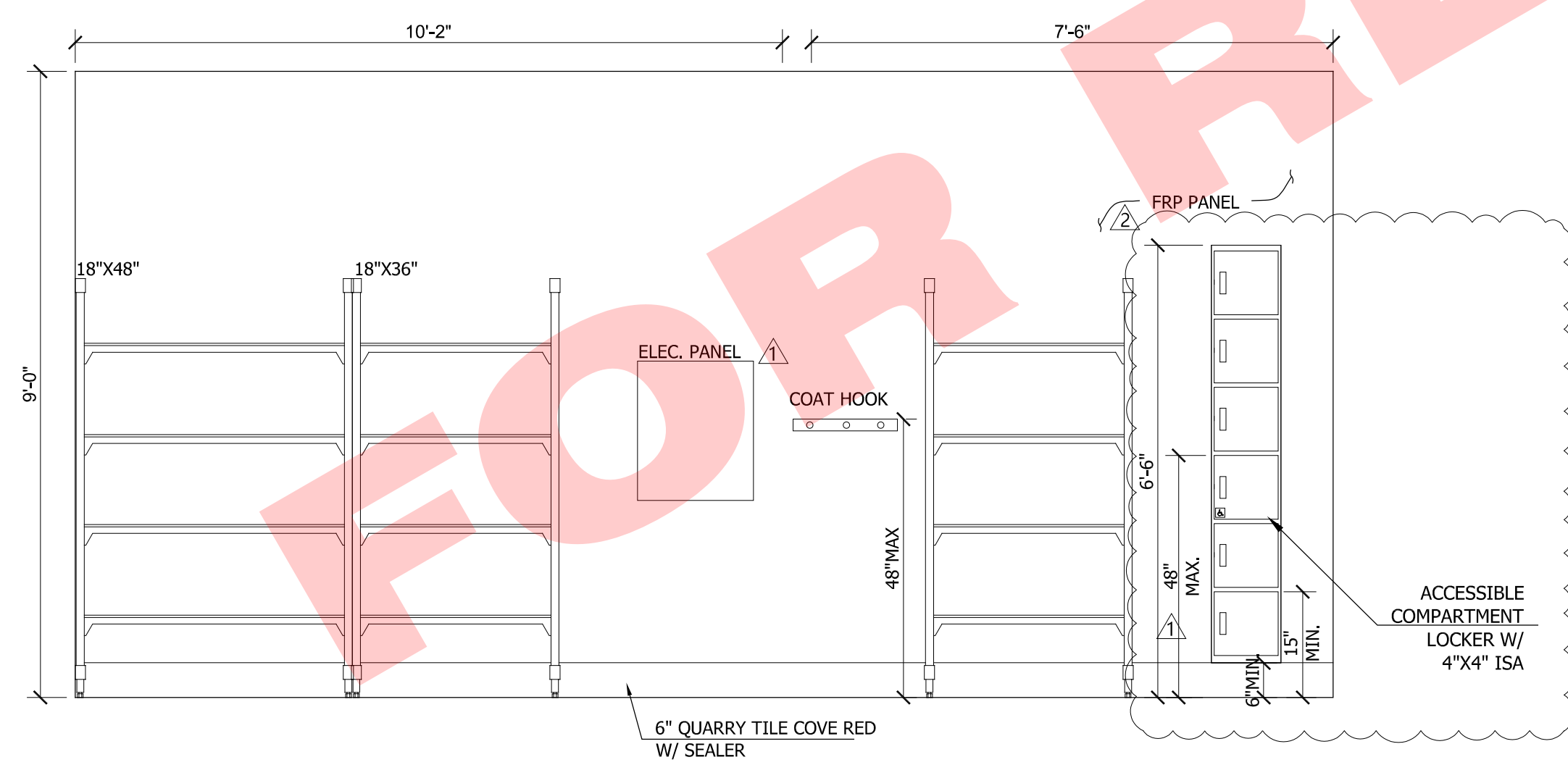
SERVICE AREA ELEVATION

1/2" 5

KITCHEN ELEVATION



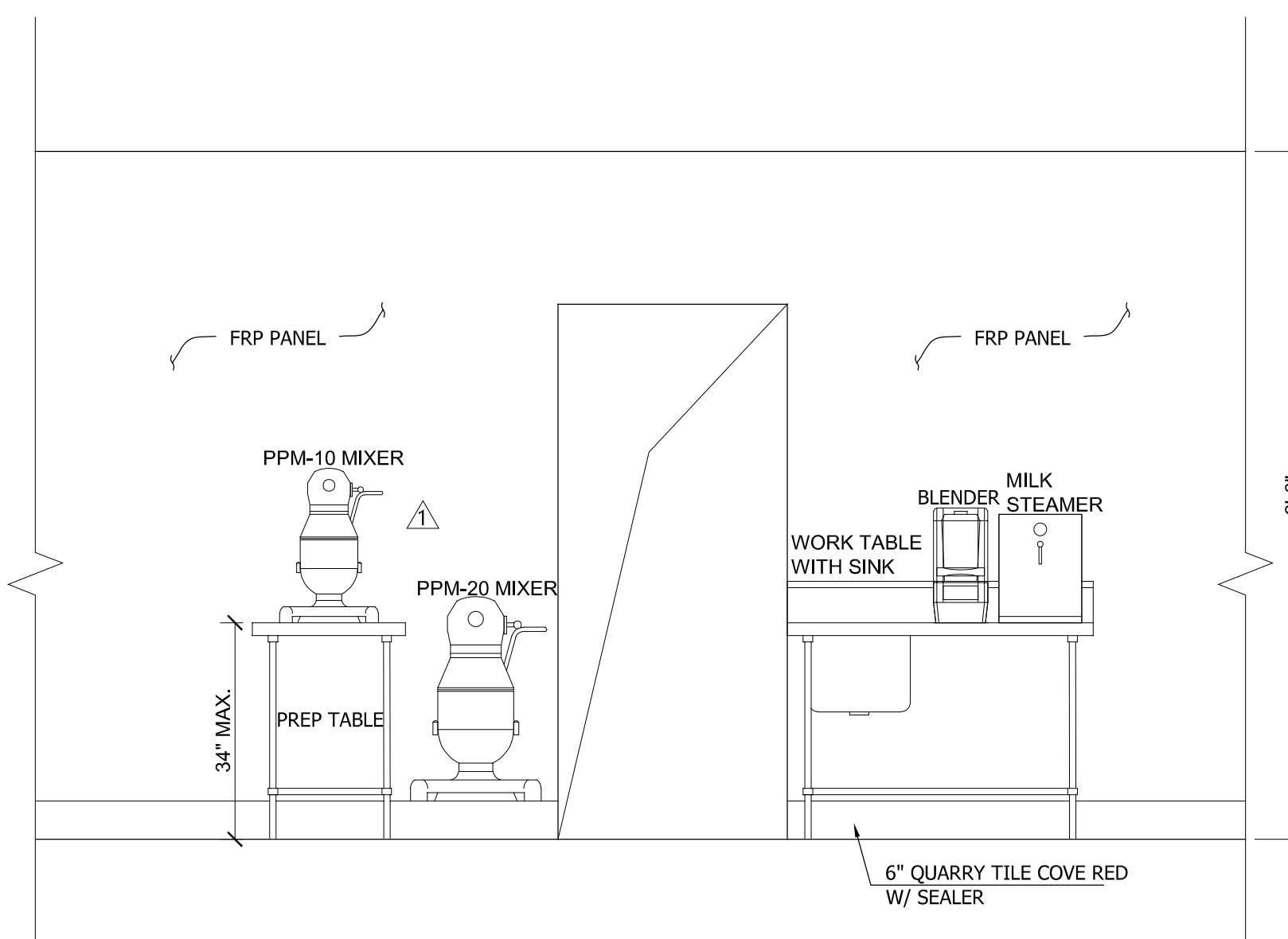
1/2" 2



STOCK ROOM ELEVATION

1/2" 6

KITCHEN ELEVATION



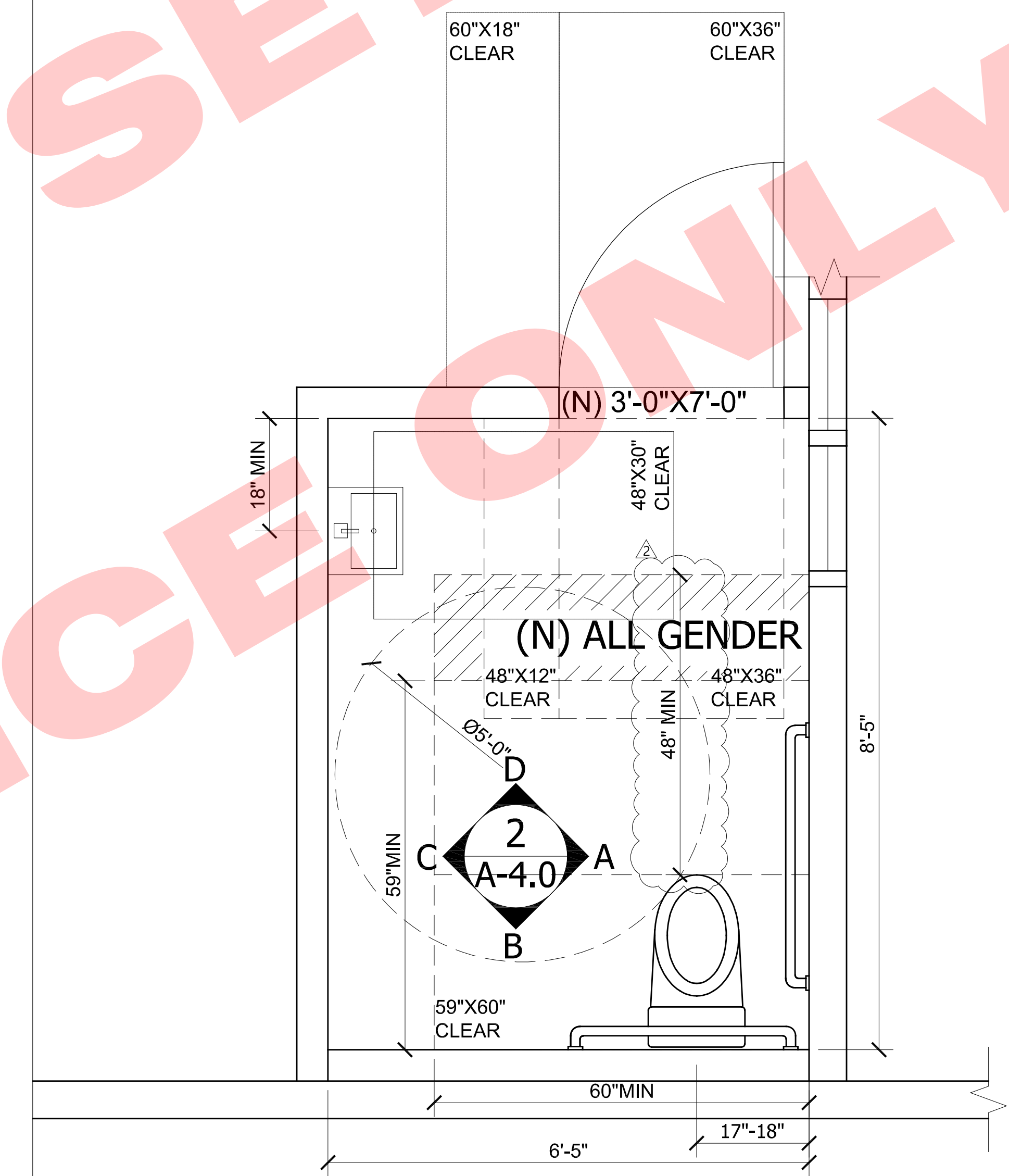
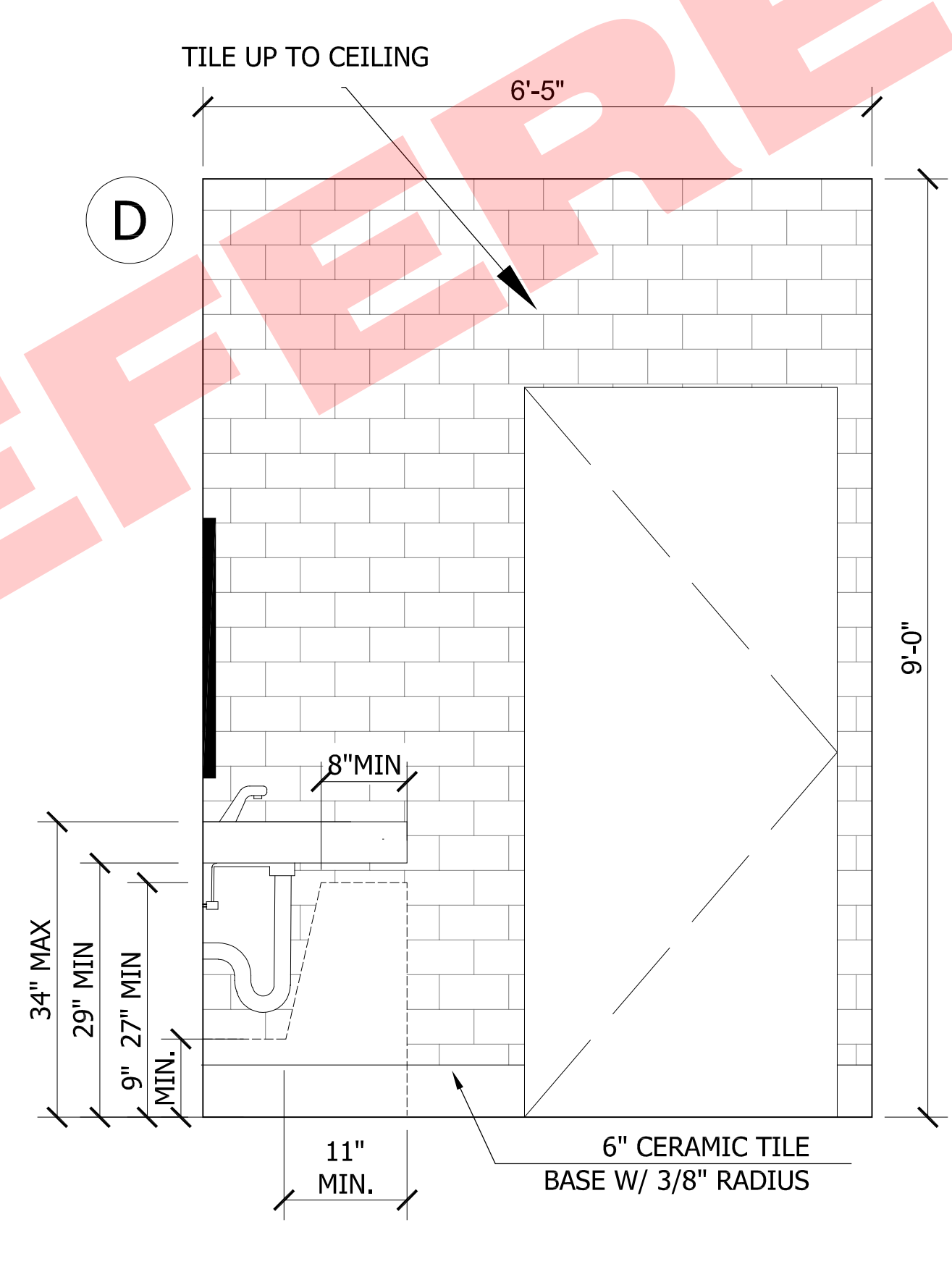
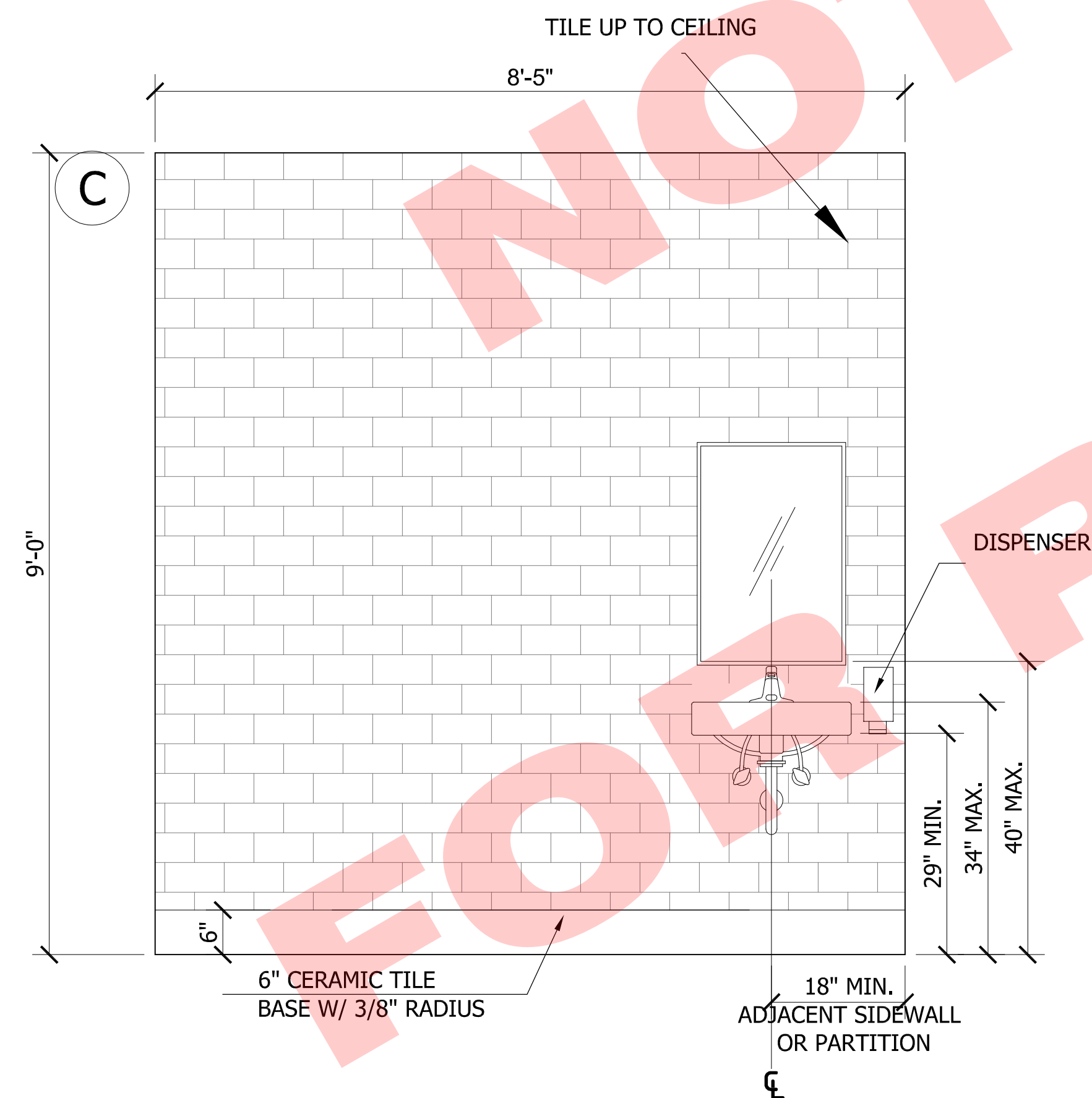
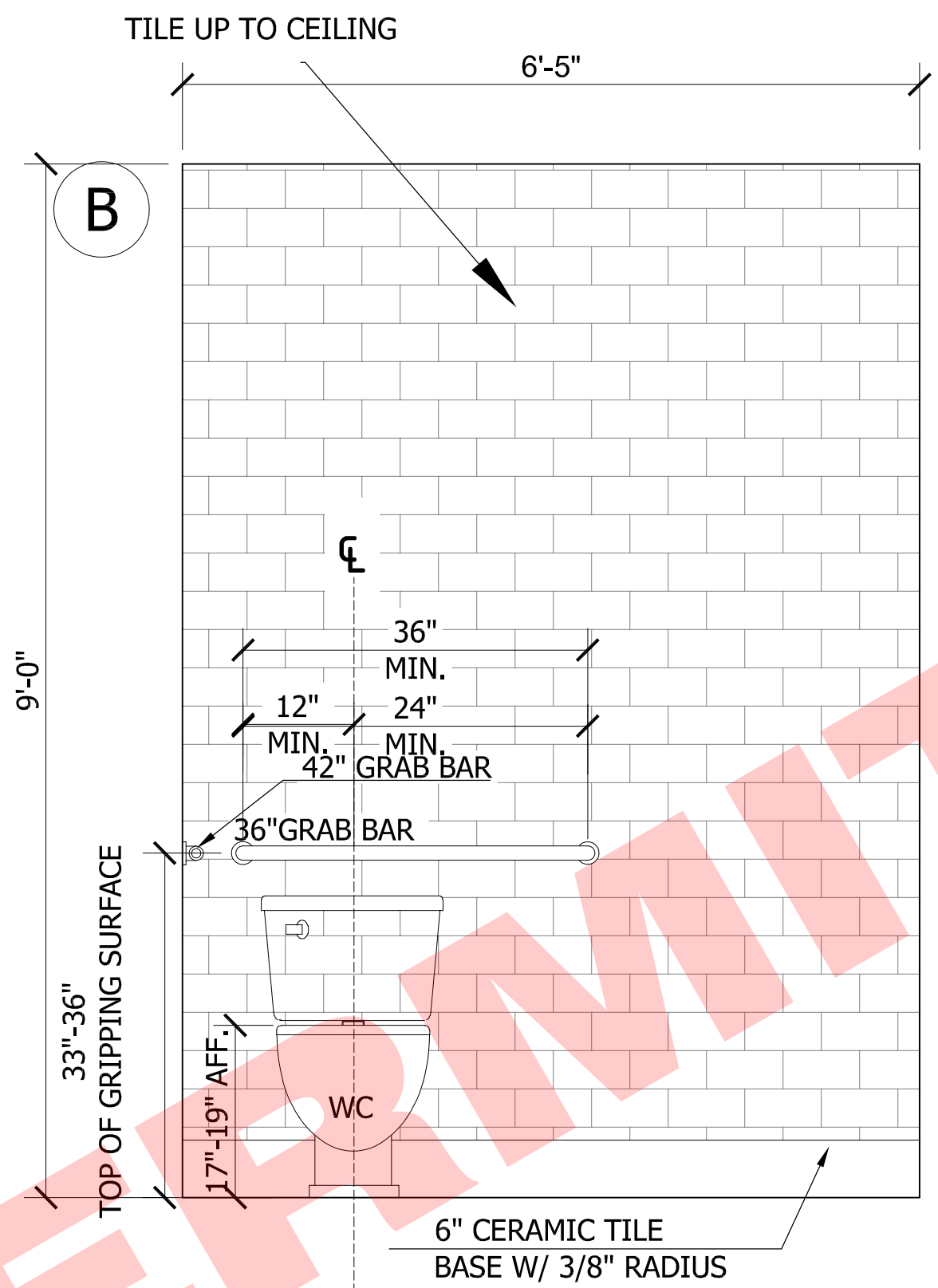
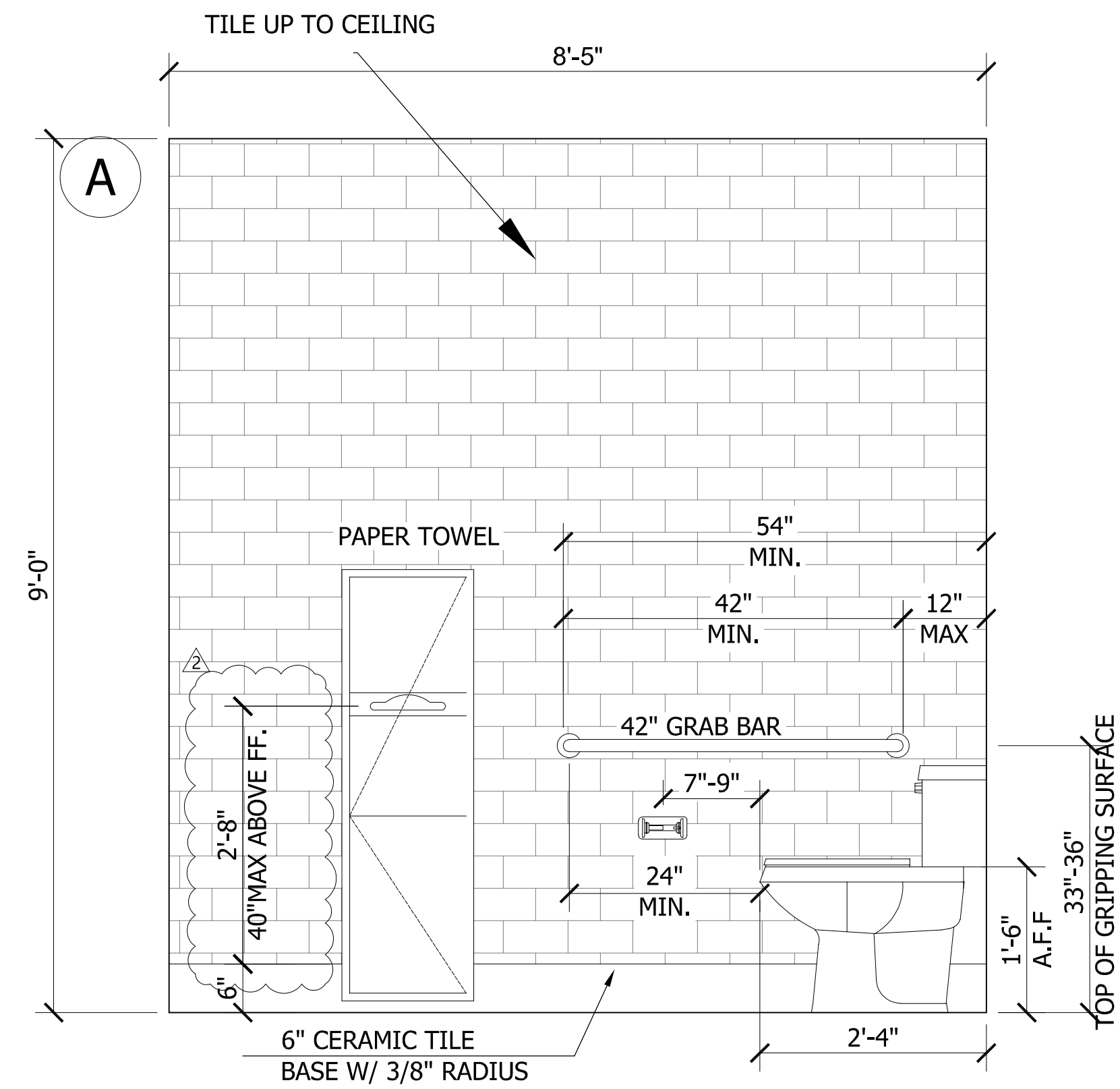
1/2" 3

PROJECT:
**FREMONT FOOD HALL
 TENANT IMPROVEMENT**

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SHEET TITLE:
**EQUIPMENT
 INTERIOR
 ELEVATION**

SHEET OF:
A-3.0



- NOTES:
1. DOORS SHALL BE EQUIPPED WITH SELF CLOSING DOOR MECHANISM.
 2. LAVATORY SINK WITH HOT/COLD COMBINATION WATER FAUCET.
 3. FAUCET CONTROLS TO BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE HAND. CBC 11B-309.4
 4. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. PER 11B-606.5

PROJECT:

**FREMONT FOOD HALL
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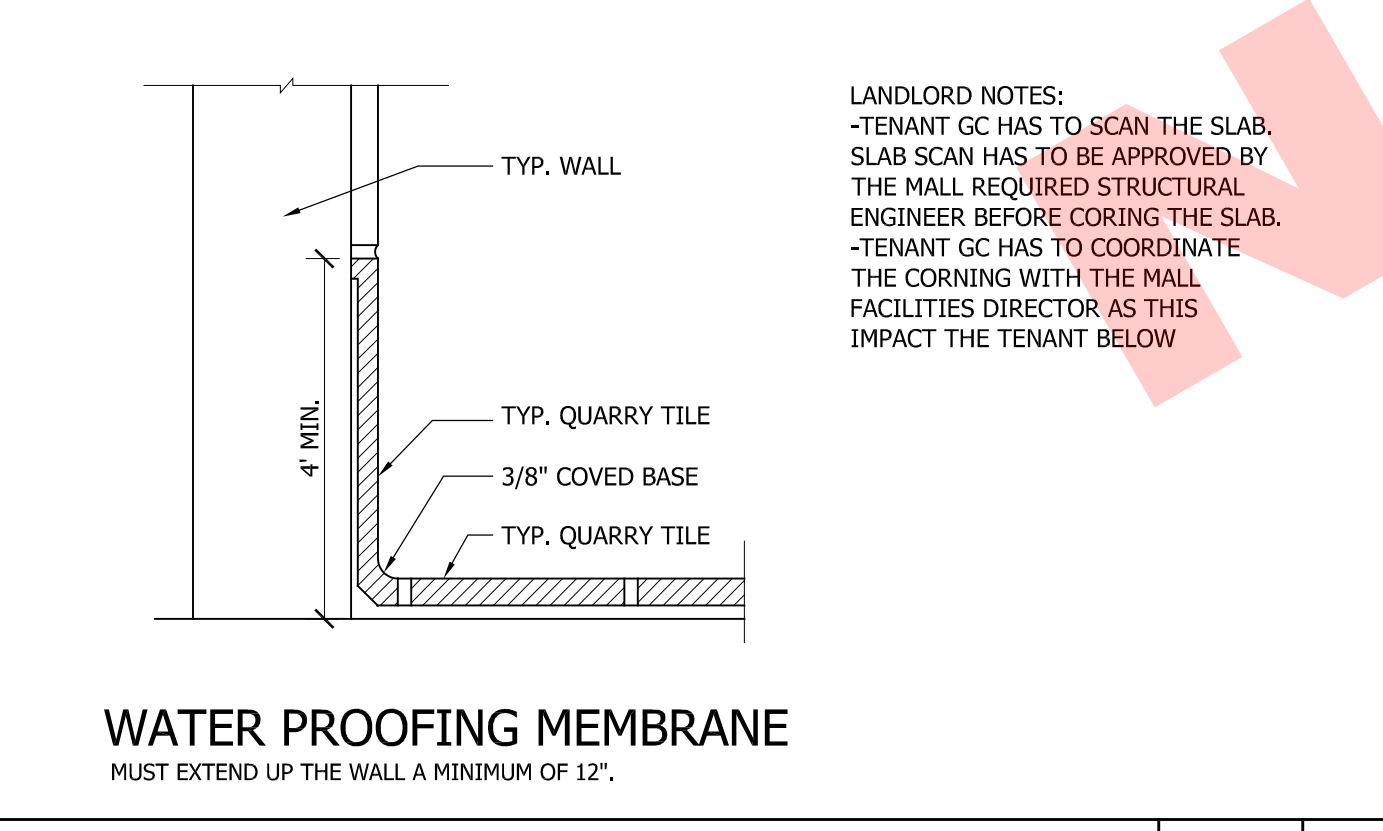
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 DRAWN BY: XH/DC/MZ
 PROJECT NO.: J22-C042

SHEET TITLE:
**RESTROOM
 FLOOR PLAN &
 ELEVATIONS**

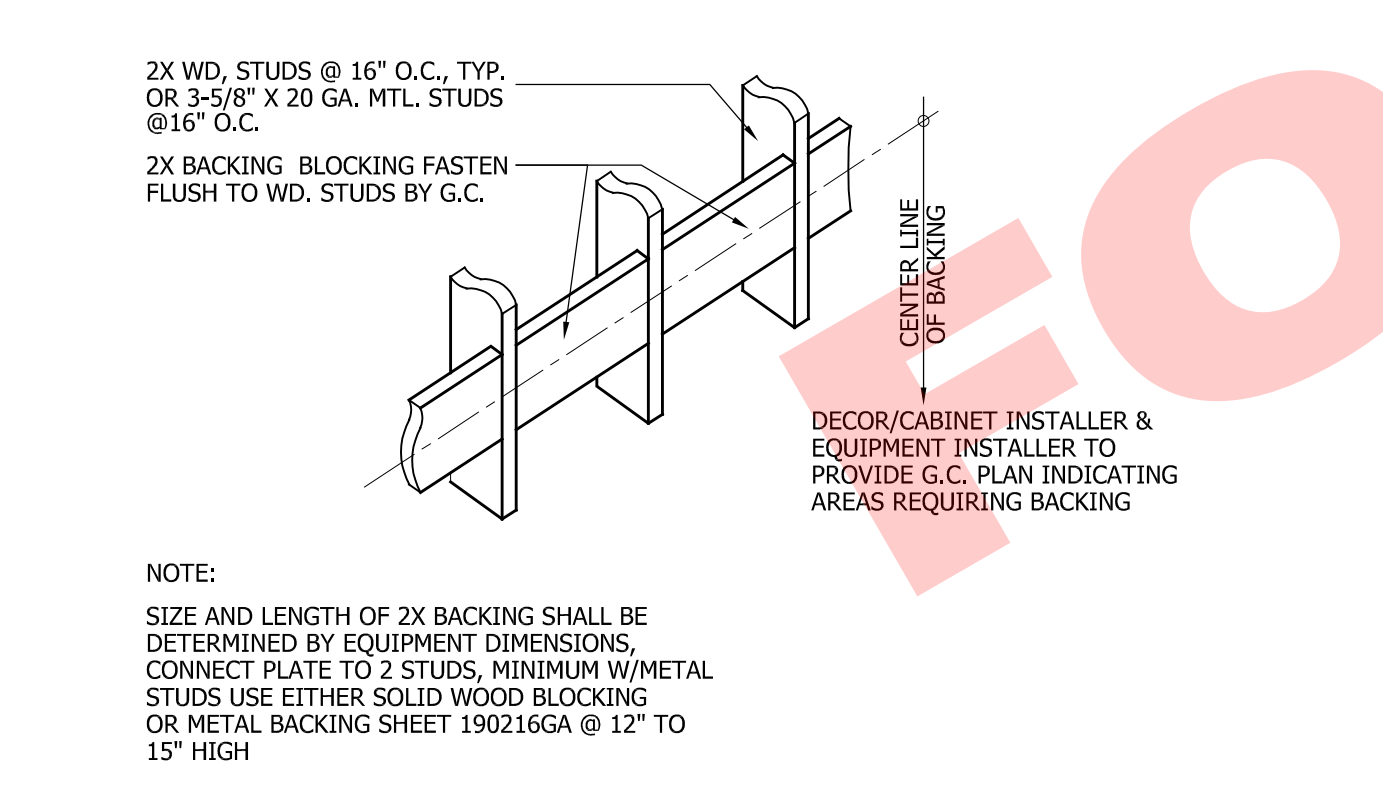
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(N) MOP HOLDER INSTALLATION
DETAIL DRAWING

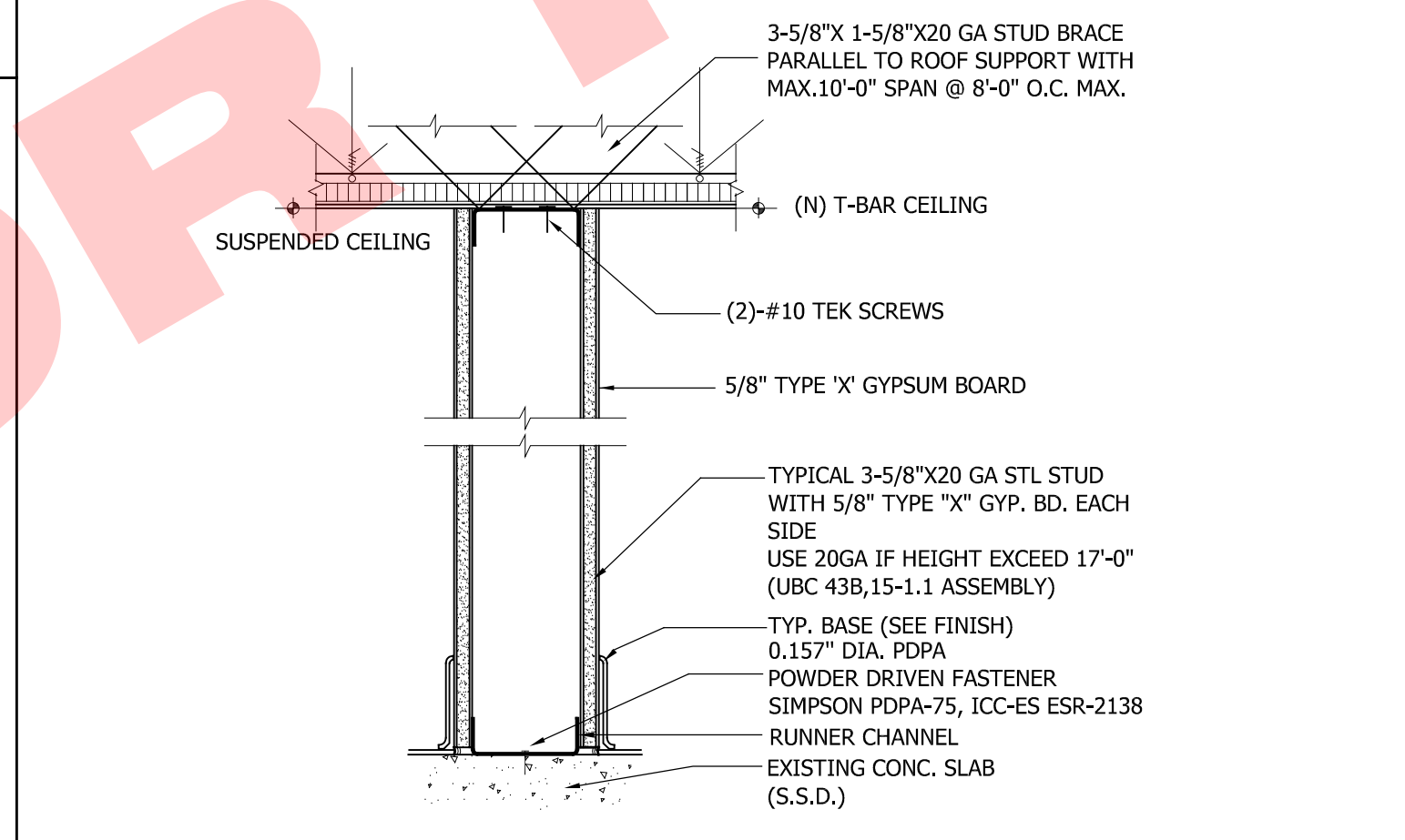
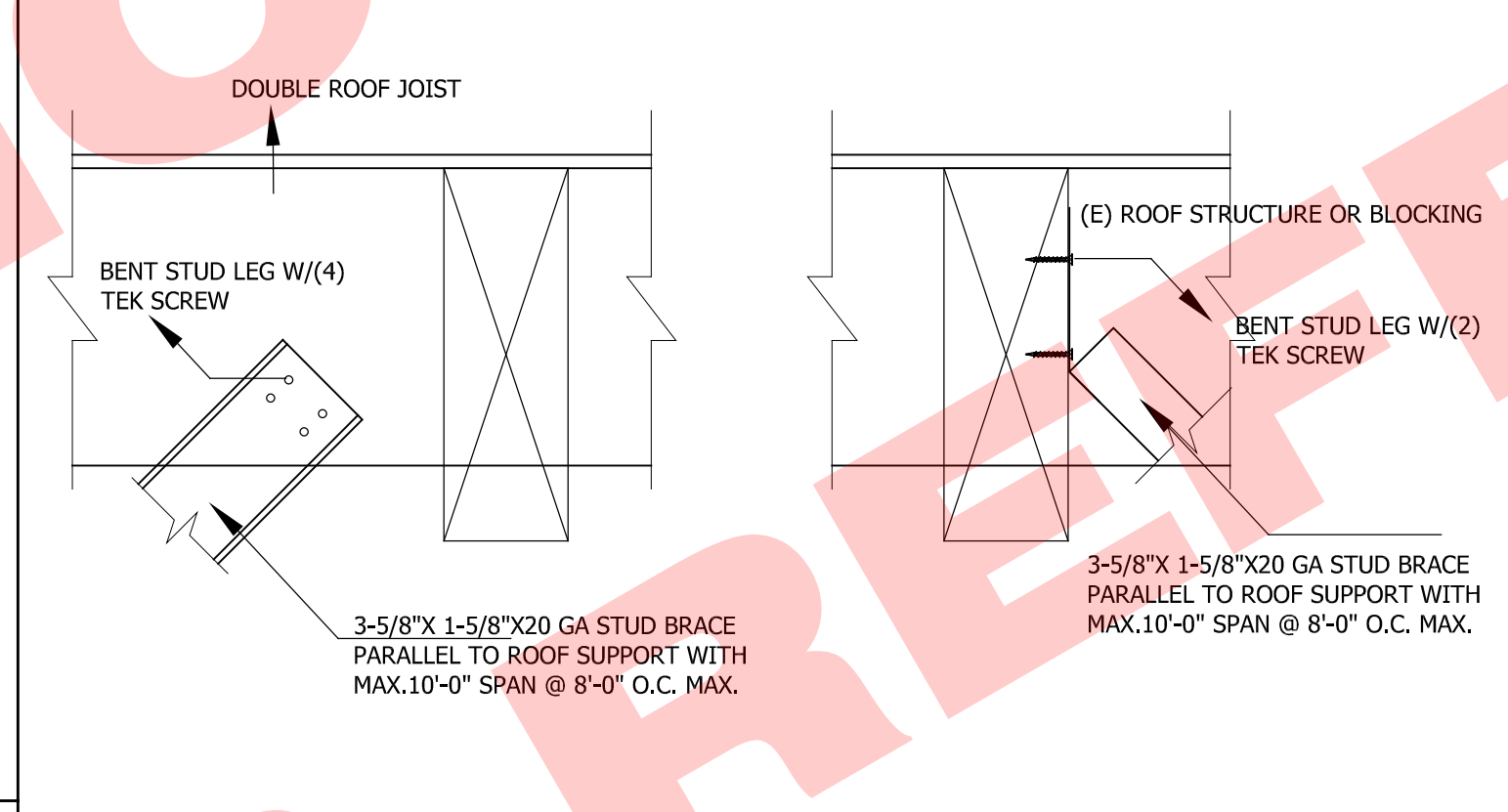


WATER PROOFING MEMBRANE
MUST EXTEND UP THE WALL A MINIMUM OF 12\"/>

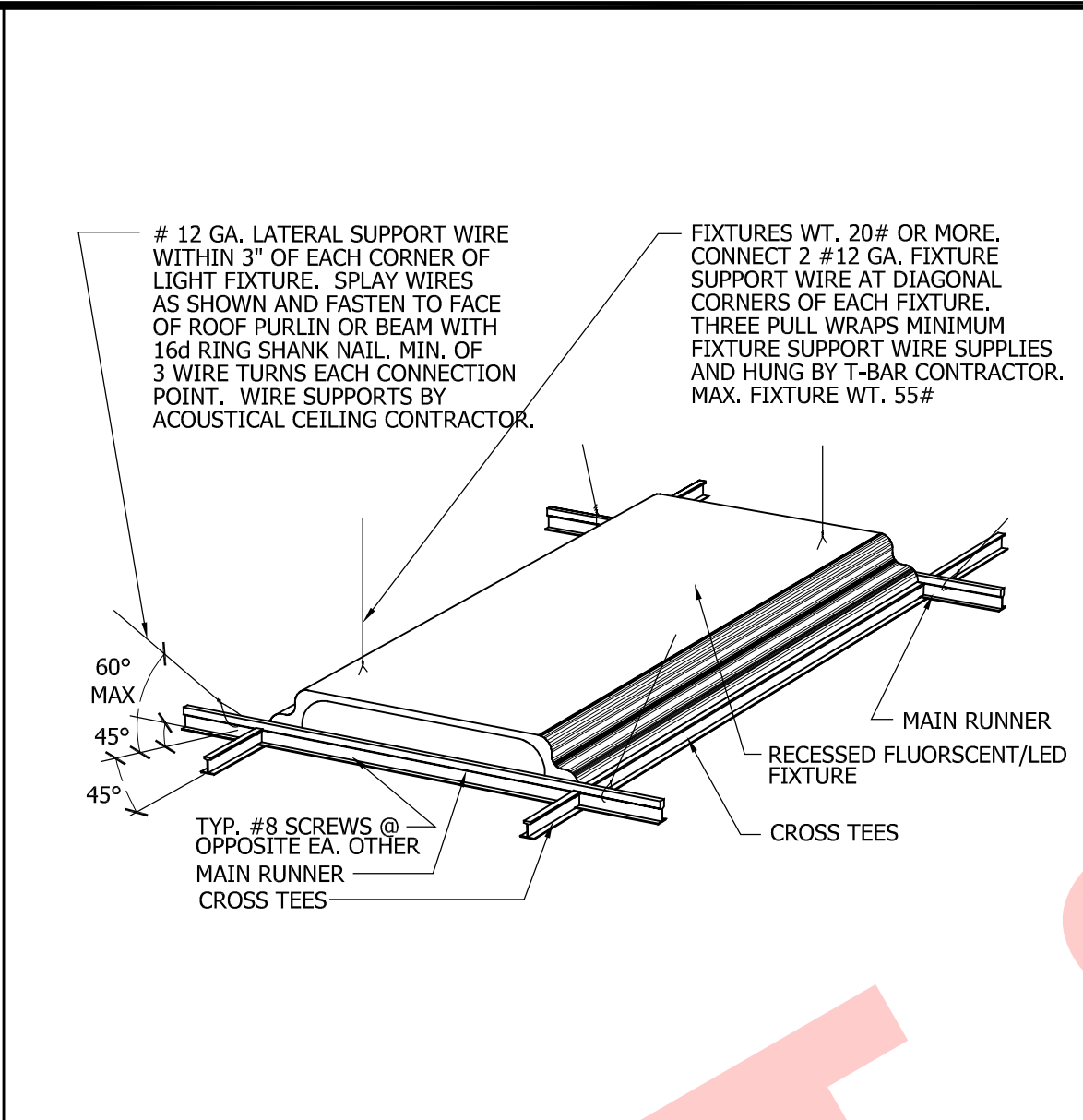


WALL BLOCKING DETAIL

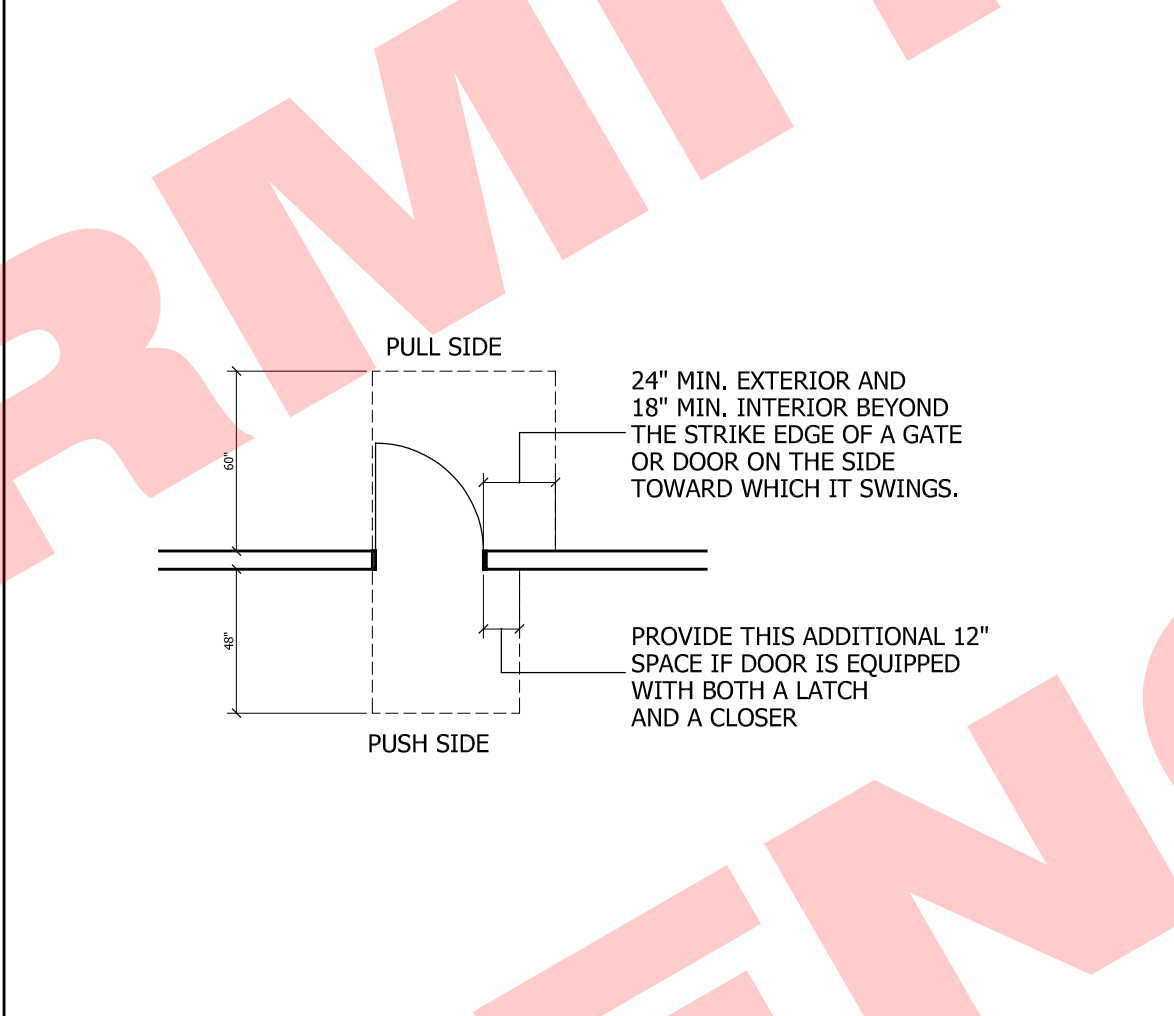
(N) PARTITION WALL TO NEW
HARD CEILING TYPE 1



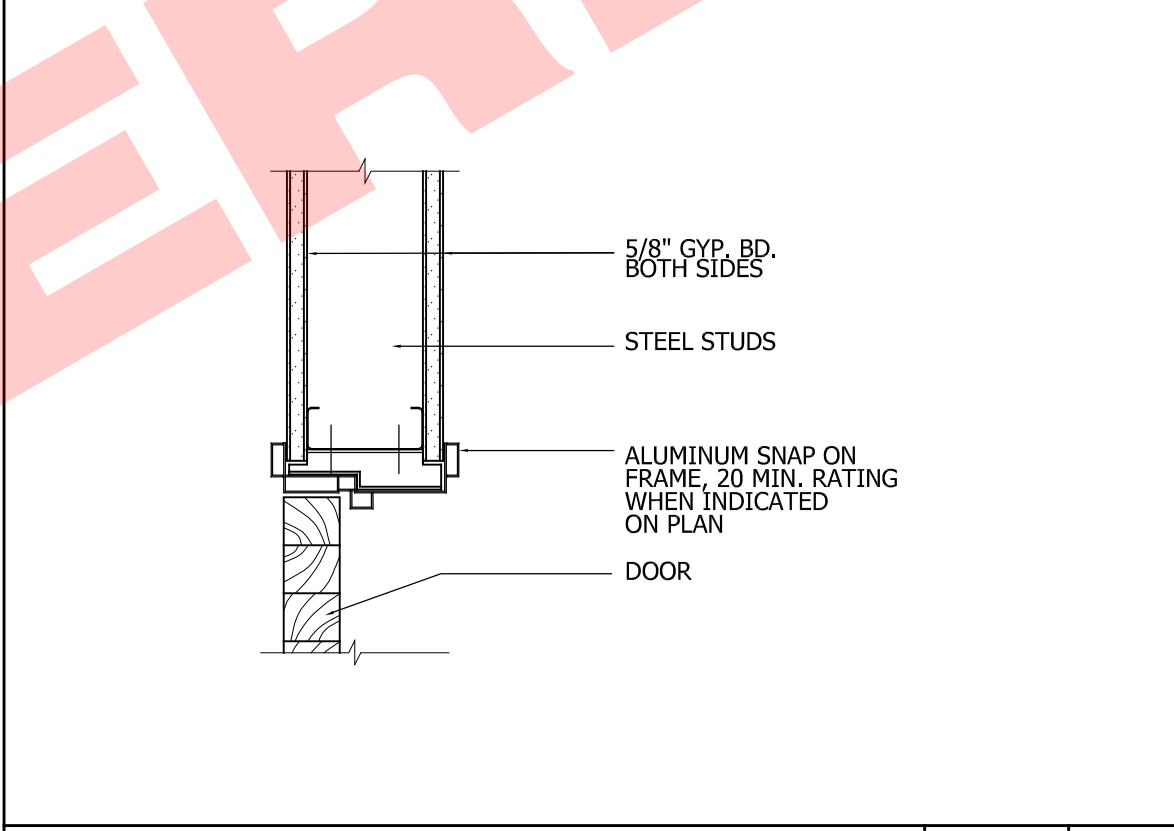
(N) PARTITION WALL TO NEW T-BAR CEILING



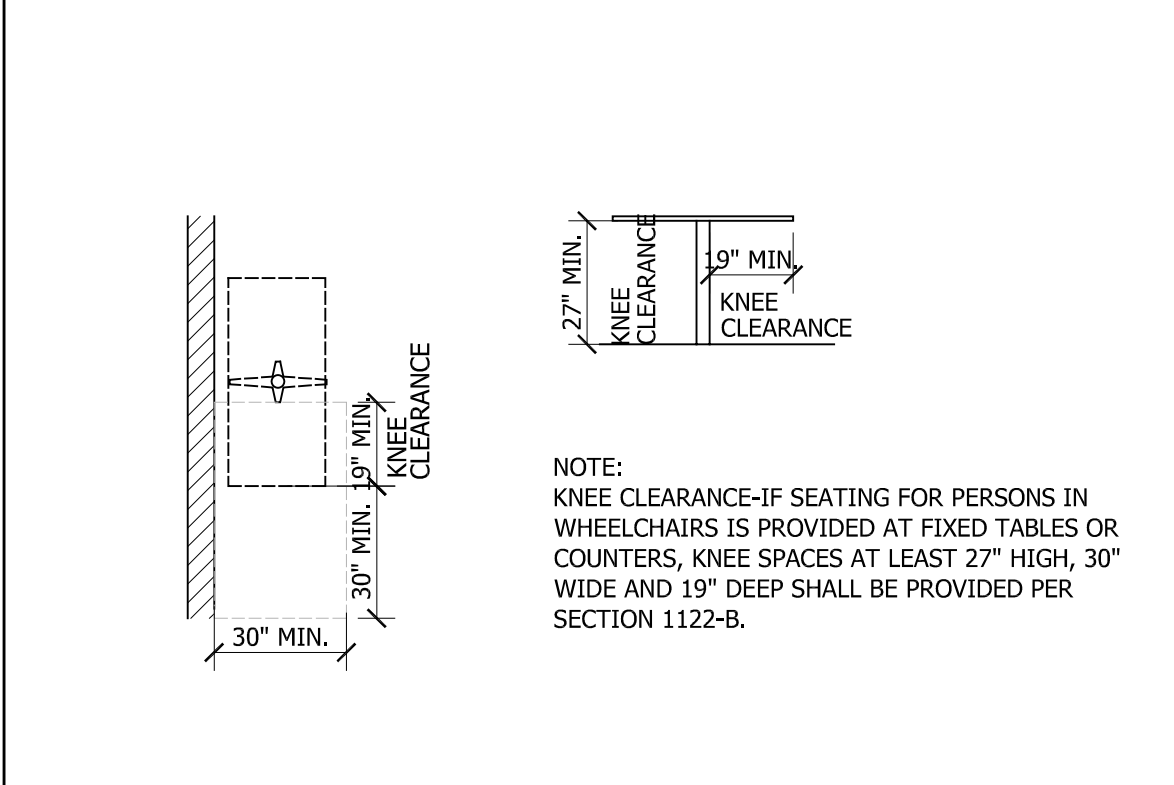
(N) T- BAR LIGHT FIXTURES



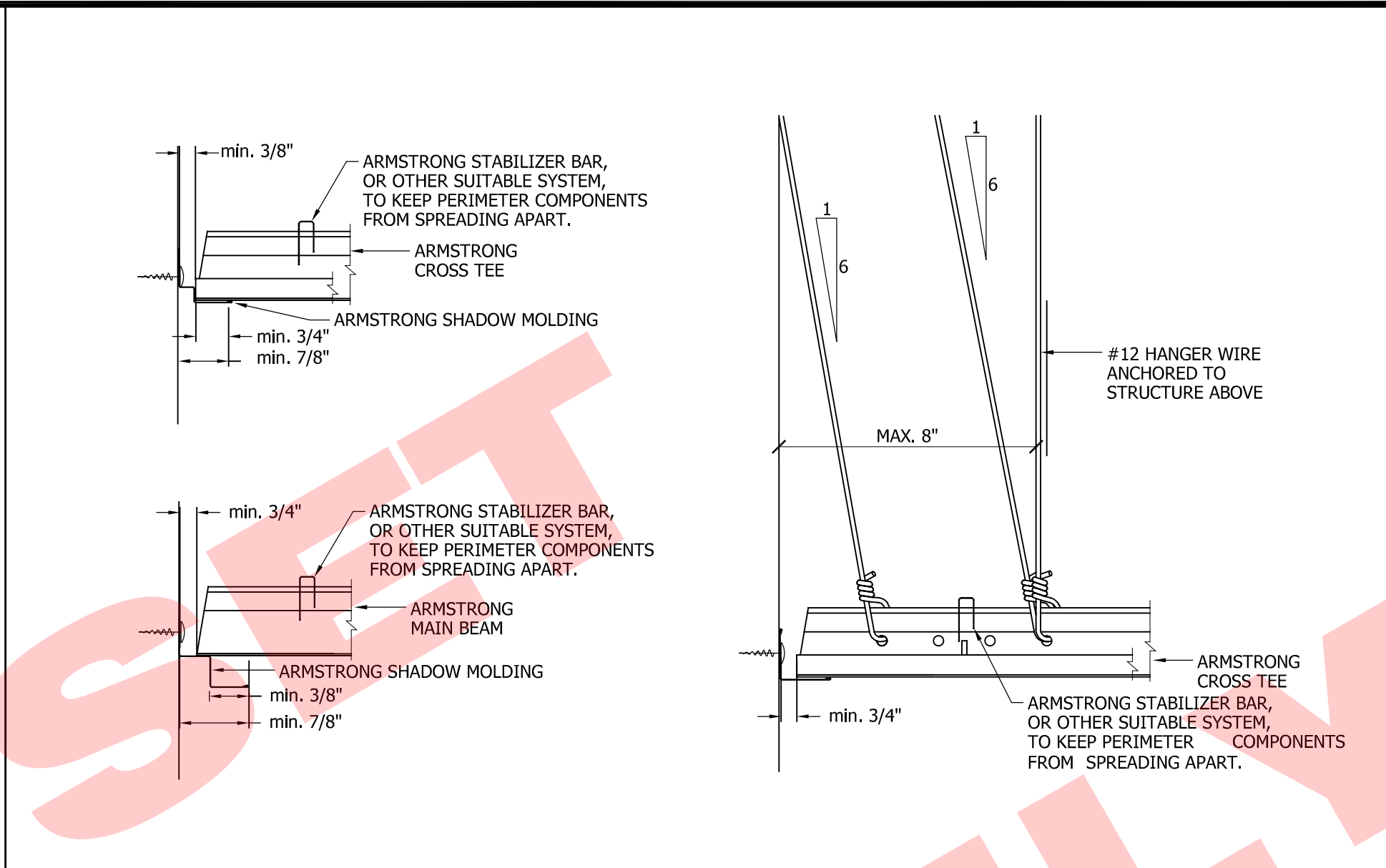
ACCESSIBLE DOOR CLEARANCE



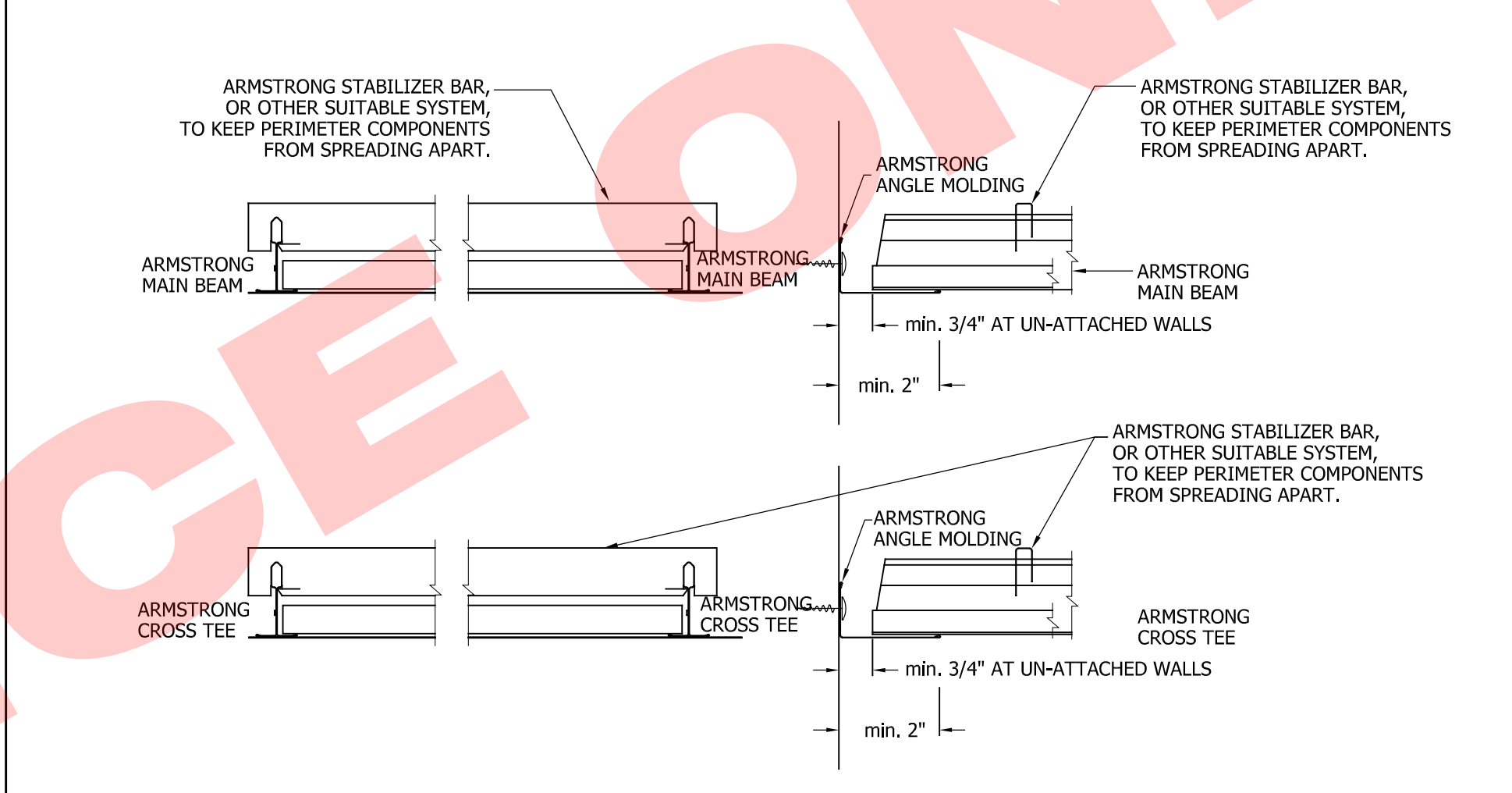
DOOR HEAD AND JAMB (SIM.)



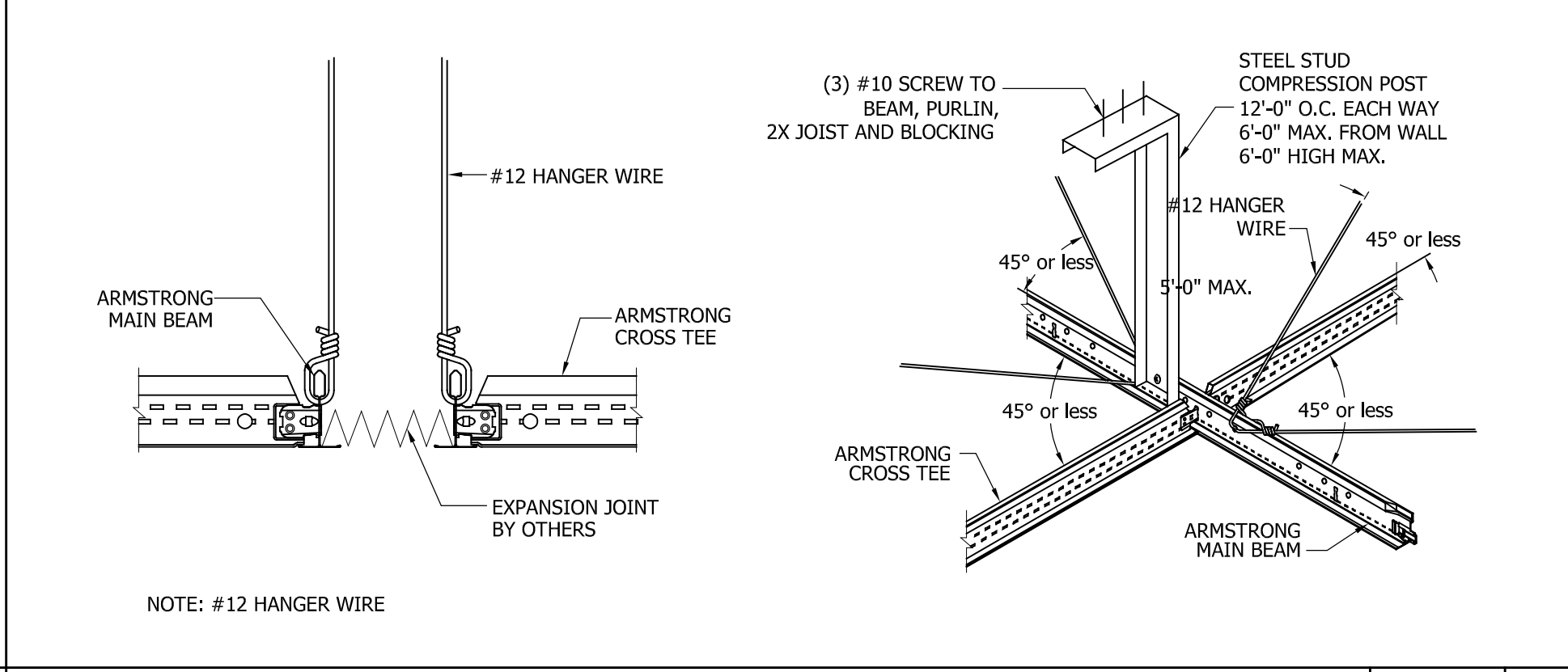
KNEE CLEARANCE



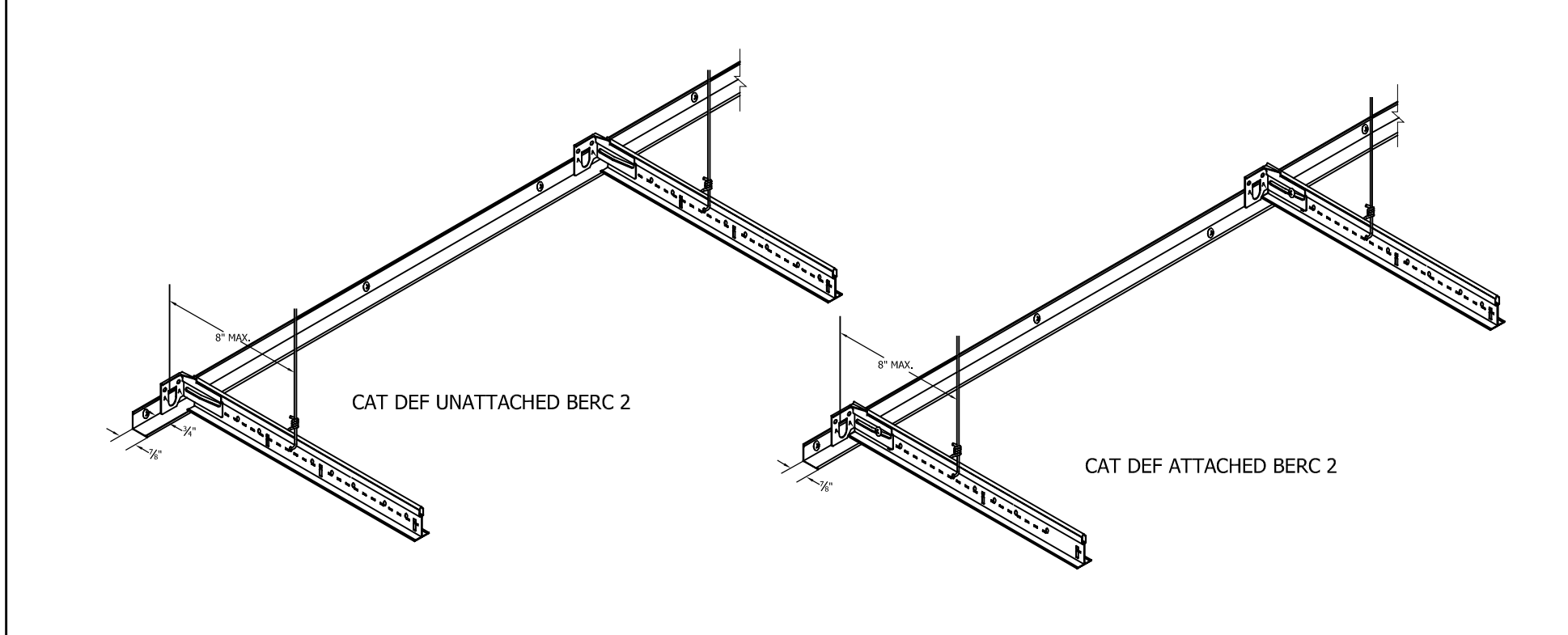
(N) SEISMIC DETAIL CAT. CDEF



(N) STABILIZER BAR INSTALLATION



(N) COMPRESSION POST AND SPLAY WIRE INSTALL.



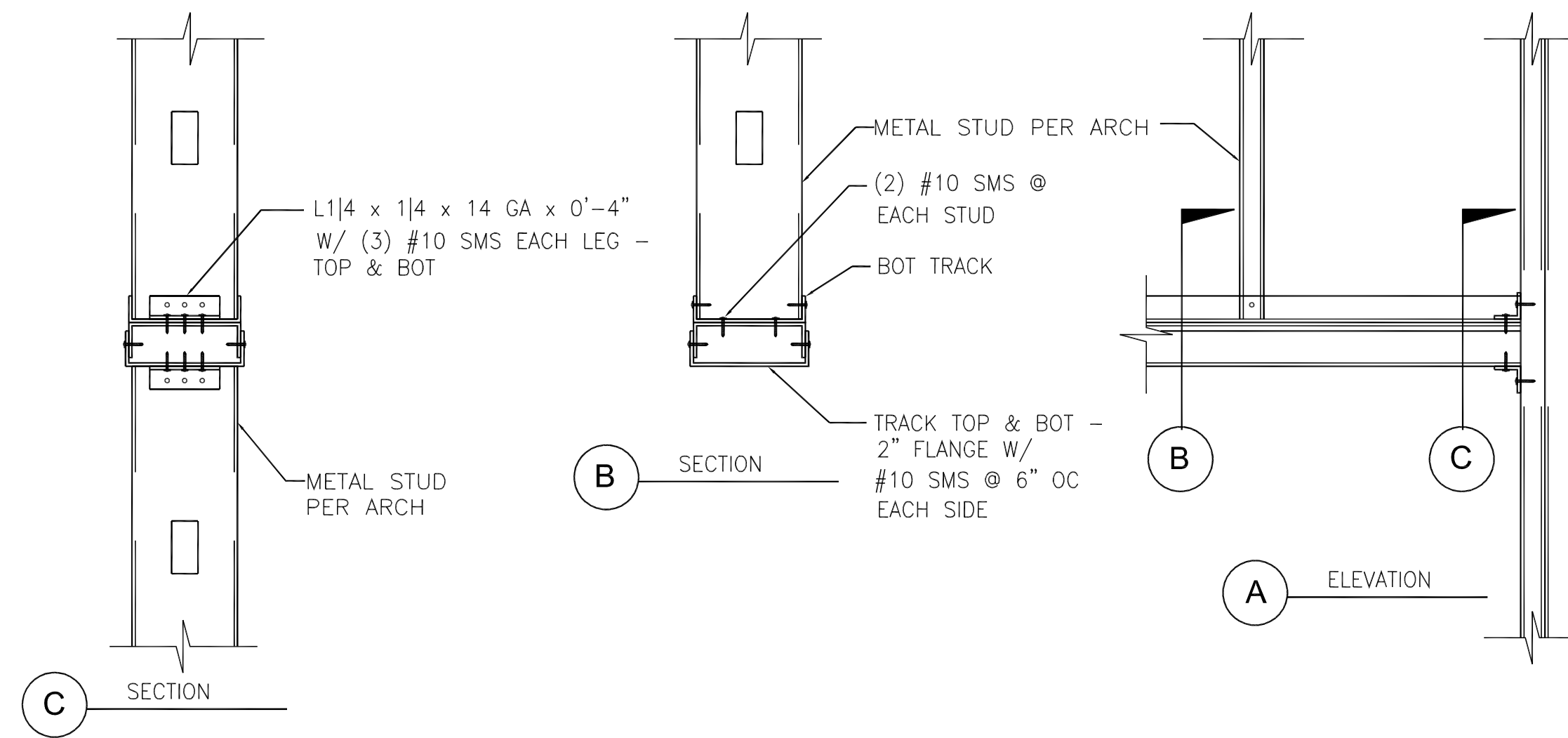
(N) BRACING DETAIL

PROJECT:
**FREMONT FOOD HALL
TENANT IMPROVEMENT**

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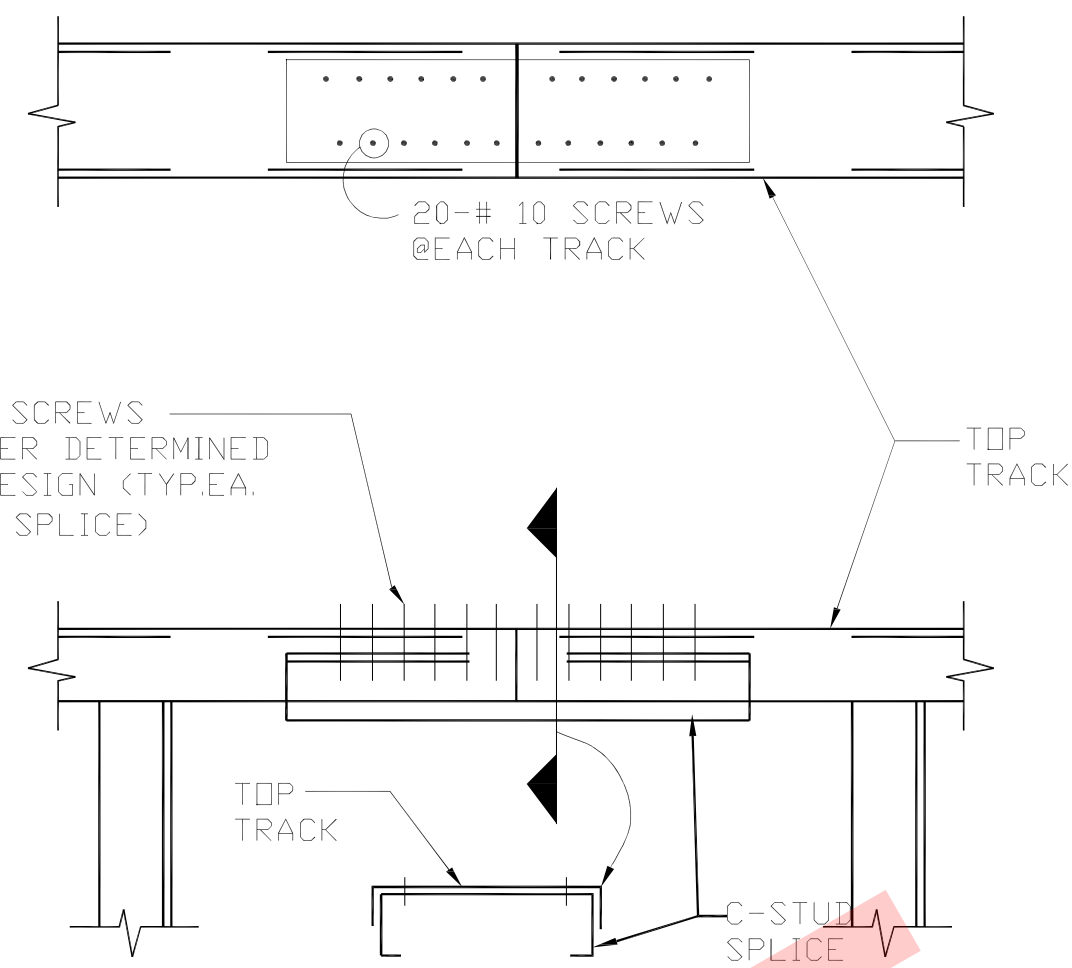
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**ARCHITECTURAL
DETAILS**

SHEET OF:
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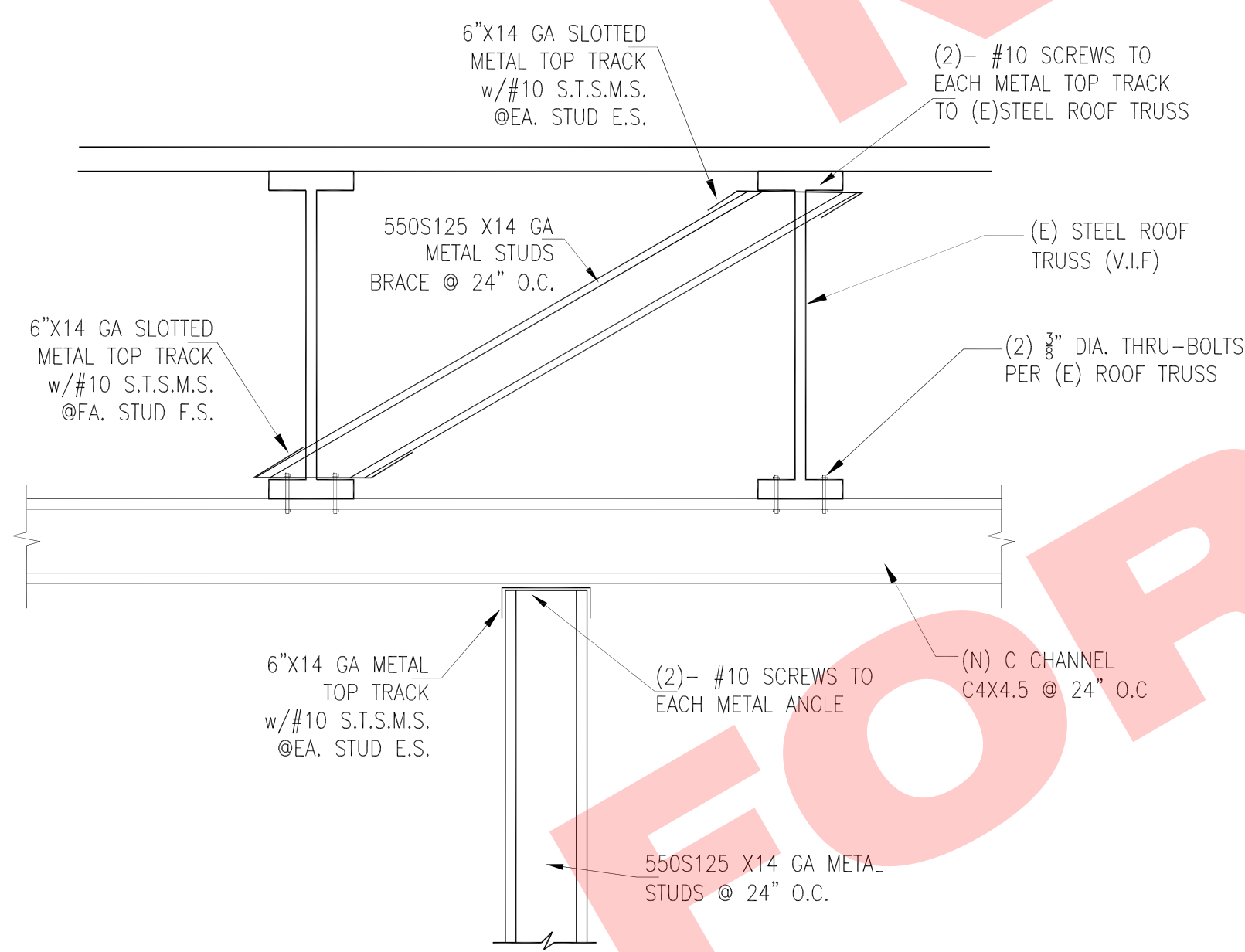
METAL STUD DETAIL

NTS 3



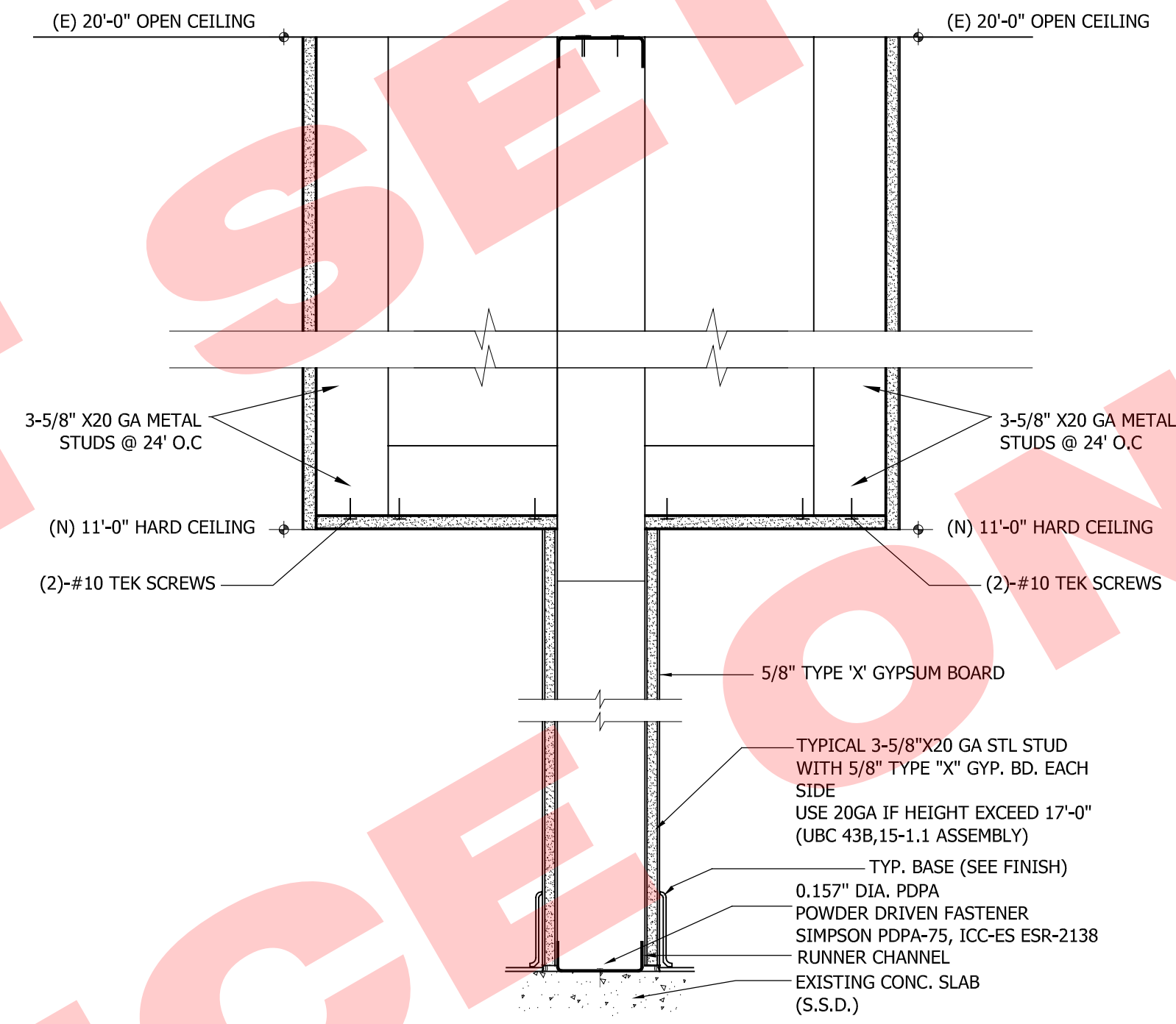
TOP TRACK CONNECTION DETAIL

NTS 4



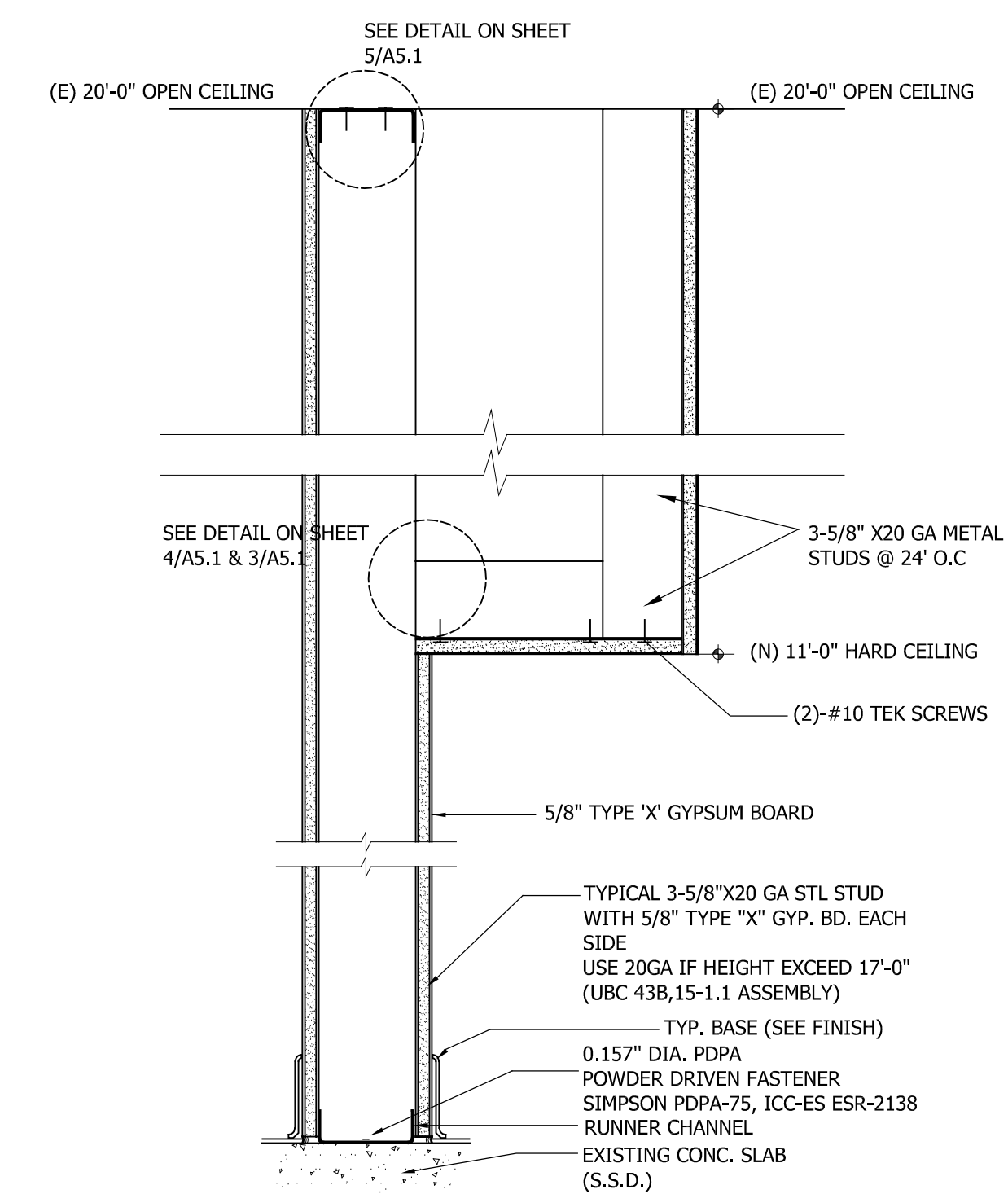
METAL STUD TOP CONNECTION DETAIL

NTS 5



(N) PARTITION WALL TO NEW HARD CEILING TYPE 3

NTS 2



(N) PARTITION WALL TO NEW HARD CEILING TYPE 2

NTS 1

PROJECT:

FREMONT FOOD HALL
TENANT IMPROVEMENT

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